

Site Plan

Bellemont Pointe Apartments

Town of Pittsboro

Chatham County, North Carolina

SITE DATA

PROJECT:	BELLEMONT POINTE APARTMENTS
OWNER:	BELLEMONT POINTE APARTMENTS, LLC 106 MUIR WOODS DRIVE CARY, NC 27516
ENGINEER:	CHANDLER ENGINEERING PA JIM CHANDLER, PE 309 S. FUQUAY AVENUE FUQUAY-VARINA, NC 27526 PHONE: 919-552-4845 FAX: 919-552-6962 EMAIL: jim@chandlerengineeringpa.com
ARCHITECT:	JONES ARCHITECTURE, PLLC WAYNE JONES 2005 BEECHAM CIRCLE RALEIGH, NC 27607 919-510-8186
DEVELOPER:	BELLEMONT POINTE APARTMENTS, LLC MS. CATHY CONNERS 106 MUIR WOODS DRIVE CARY, NC 27513 919-610-7883
TEMPORARY PROPERTY ADDRESS:	0 LOWES DRIVE EXTENSION
PARCEL NUMBER:	9752-14-9607
ZONING:	MUPD (MIXED USE PLANNED DEVELOPMENT)
PROPOSED USE:	RESIDENTIAL (MULTI-FAMILY)
EXISTING TRACT AREA:	8.577 ACRES
TRACT AREA AFTER RIGHT-OF-WAY DEDICATION:	6.755 ACRES
REFERENCE:	D.B. 1059, PG. 0680



VICINITY MAP - NOT TO SCALE

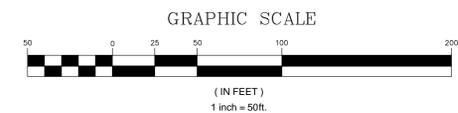
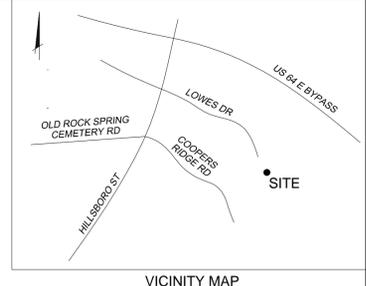
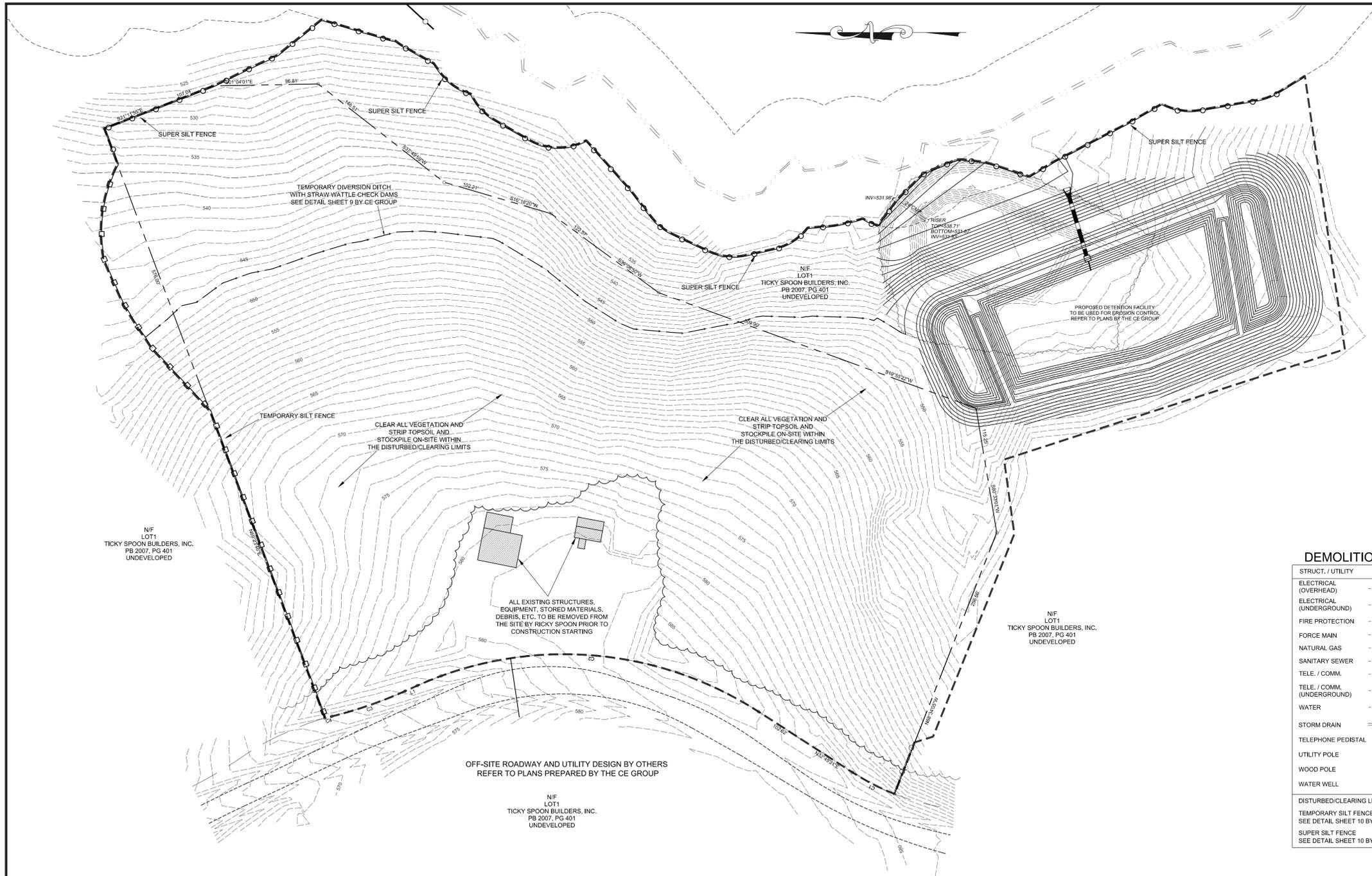
SHEET INDEX

C1.01	SITE EXISTING CONDITIONS AND DEMOLITION PLAN
C2.01	SITE LAYOUT PLAN
C3.01	SITE GRADING PLAN
C4.01	SITE SEDIMENTATION AND EROSION CONTROL PLAN
C5.01	SITE UTILITY PLAN
C6.01	REQUIRED PLANTINGS
C6.02	SUPPLEMENTAL PLANTINGS
C7.01	SITE DETAILS
C7.02	SITE DETAILS
C7.03	SITE DETAILS
L1.0	LIGHTING PLAN
A1.08	ACCESSORY PLANS

chandler engineering pa
309 S. Fuquay Avenue, Fuquay-Varina, NC 27526
Phone: 919-552-4845 Fax: 919-552-6962



Bellemont Pointe Apartments
Town of Pittsboro
 Chatham County, North Carolina



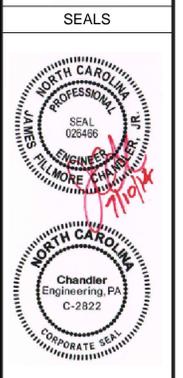
DEMOLITION LEGEND

STRUCT. / UTILITY	TO REMAIN	TO BE REMOVED	STRUCT. / UTILITY	TO REMAIN	TO BE REMOVED
ELECTRICAL (OVERHEAD)	---	---	LIGHT POLE	☆ LP	☆ LP
ELECTRICAL (UNDERGROUND)	---	---	UTILITY POLE	⊙ PP	⊙ PP
FIRE PROTECTION	---	---	GUY WIRE	⊙ GW	⊙ GW
FORCE MAIN	---	---	MANHOLE	⊙ MH	⊙ MH
NATURAL GAS	---	---	CLEAN OUT	⊙ CO	⊙ CO
SANITARY SEWER	---	---	DROP INLET OR CATCH BASIN	□ DI, CB	□ DI, CB
TELE. / COMM. (UNDERGROUND)	---	---	FIRE HYDRANT	⊙ FH	⊙ FH
WATER	---	---	WATER VALVE	⊙ WV	⊙ WV
STORM DRAIN	---	---	INDIVIDUAL TREE	⊙	⊗
TELEPHONE PEDISTAL	⊙ TP	⊙ TP	EXISTING STRUCTURES TO BE REMOVED	▨	▨
UTILITY POLE	⊙ UP	⊙ UP			
WOOD POLE	⊙ WP	⊙ WP			
WATER WELL	⊙ WH	⊙ WH			
DISTURBED/CLEARING LIMITS	---	---			
TEMPORARY SILT FENCE	---	---			
SUPER SILT FENCE	---	---			

GENERAL NOTES

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMP. STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL EMPLOY A QUALIFIED UTILITY LOCATOR SERVICE TO LOCATE ALL UNDERGROUND UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, GAS, CABLE, FIBER OPTIC) WITHIN THE LIMITS OF CONSTRUCTION.
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH OWNER.

chandler engineering pa
 309 S. Fungway Avenue, Fungway-Virginia, NC 27526
 Phone: 919-552-4845 Fax: 919-552-6982



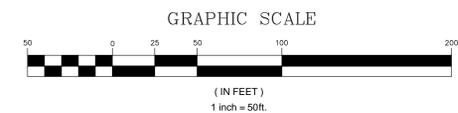
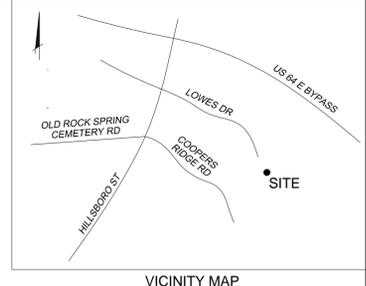
REVISIONS

DATE	COMMENTS	REVISIONS
7/10/14		

CONSTRUCTION DOCUMENT

Bellemont Pointe Apartments
Town of Pittsboro
Chatham County, North Carolina

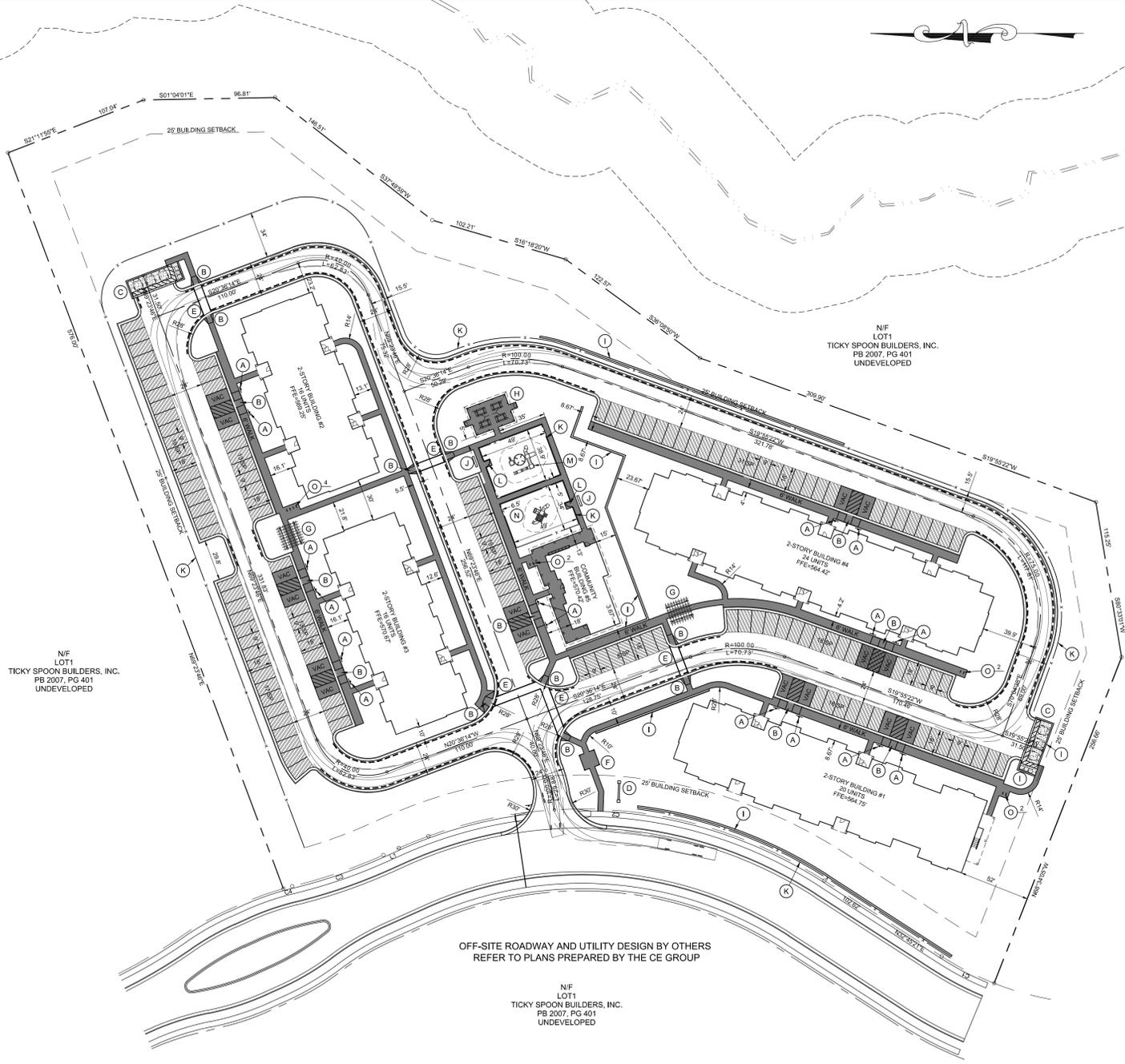
REVIEWED BY: JFC
 DATE: 5/29/14
 PROJECT NUMBER: 13-009
SITE EXISTING CONDITIONS AND DEMOLITION PLAN
C1.01
 MAY 2014



2-5 PLAY EQUIPMENT



5-12 PLAY EQUIPMENT



N/F LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

N/F LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

N/F LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

OFF-SITE ROADWAY AND UTILITY DESIGN BY OTHERS
REFER TO PLANS PREPARED BY THE GE GROUP

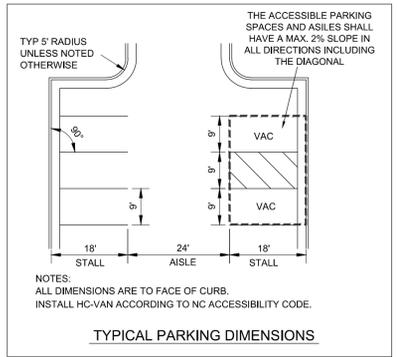
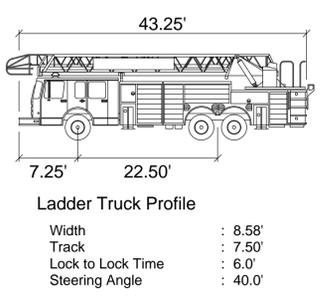
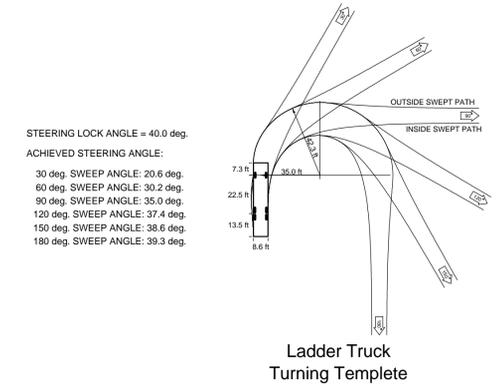
N/F LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

SITE DATA

PROJECT:	BELMONT POINTE APARTMENTS
PLAN TYPE:	SITE PLAN
ENGINEER:	CHANDLER ENGINEERING, PA JIM CHANDLER, PE 309 S. FUQUAY AVENUE FUQUAY-VARINA, NC 27526 PHONE: 919-552-4845 FAX: 919-552-6962 EMAIL: jrm@chandlerengineeringpa.com
OWNER:	BELMONT POINTE APARTMENTS, LLC CATHY CONNORS 105 MUJ WOODS DRIVE CARY, NC 27516 PHONE: 919-610-7883 EMAIL: cathy.connors@solstispartners.net
ARCHITECT:	JONES ARCHITECTURE, PLLC WAYNE JONES 2005 BEECHAM CIRCLE RALEIGH, NC 27607 PHONE: 919-510-5196 EMAIL: wayne@wjonesarchitecture.com
PROPERTY ADDRESS:	LOWES DRIVE EXTENSION
PARCEL NUMBER:	9752-14-9607
REFERENCE:	D.B. 1059, PG. 0680
ZONING:	MUPD (MIXED USE PLANNED DEVELOPMENT)
PROPOSED USE:	MULTI-FAMILY
EXISTING TRACT AREA:	8.577 ACRES
TRACT AREA AFTER RIGHT-OF-WAY DEDICATION:	6.755 ACRES
PROPOSED # UNITS:	12 1-BEDROOM 44 2-BEDROOM 20 3-BEDROOM 76 TOTAL UNITS
PROPOSED DENSITY:	11.24 UNITS PER ACRE
BUILDING AREA:	BUILDING #1 - 25,131 GSF BUILDING #2 - 15,721 GSF BUILDING #3 - 17,068 GSF BUILDING #4 - 28,827 GSF COMM. CENTER - 3,157 GSF 89,904 TOTAL GSF
BUILDING HEIGHTS:	BUILDING #1 - 26' BUILDING #2 - 26' BUILDING #3 - 26' BUILDING #4 - 26' COMM. CENTER - 15' 89,904 TOTAL GSF
IMPERVIOUS SURFACE AREAS:	EXISTING: 0.000 ACRES PROPOSED: 3.29 ACRES (48.7%)
AGECNY PARKING REQUIREMENTS:	2 PER UNIT (76 UNITS) 152
PROPOSED:	152
ACCESSIBLE PARKING REQUIRED:	14
ACCESSIBLE PARKING PROVIDED:	16

KEY NOTES

- (A) ACCESSIBLE PARKING AND SIGNAGE, SEE DETAIL SHEET
 - (B) ACCESSIBLE WHEELCHAIR RAMP, SEE DETAIL SHEET
 - (C) DUMPSTER ENCLOSURE (3 UNITS PLUS RECYCLING), SEE A1.08
 - (D) PROPOSED PROJECT SIGN, SEE A1.08
 - (E) CROSSWALK, SEE TRAFFIC CONTROL NOTES THIS SHEET
 - (F) GAZEBO, SEE A1.08
 - (G) TRELLIS, SEE A1.08
 - (H) PICNIC SHELTER, TABLES, GRILL, SEE A1.08
 - (I) SEGMENTAL RETAINING WALL, DESIGN BY OTHERS
 - (J) PERMANENTLY ANCHORED, WEATHER RESISTENT BENCH WITH A BACK, OWNER TO COORDINATE MANUFACTURER AND COLOR SPECIFICS
 - (K) 4' ORNAMENTAL ALUMINUM FENCE, COORDINATE SPECIFICS WITH OWNER
 - (L) 4' PEDESTRIAN ALUMINUM GATE, COORDINATE SPECIFICS WITH OWNER
 - (M) 5-12 PLAY EQUIPMENT BY PALMETTO PLAYSETS, LLC (864-233-6867) MODEL J-1829 OR APPROVED EQUAL. EQUIPMENT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. OWNER TO COORDINATE FINAL SELECTION AND MANUFACTURER AND ENSURE REQUIREMENTS ARE MET, SEE THIS SHEET.
 - (N) 2-5 PLAY EQUIPMENT BY PALMETTO PLAYSETS, LLC (864-233-6867) MODEL J-1848 OR APPROVED EQUAL. EQUIPMENT SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. OWNER TO COORDINATE FINAL SELECTION AND MANUFACTURER AND ENSURE REQUIREMENTS ARE MET, SEE THIS SHEET.
 - (O) BIKE RACK, SEE DETAIL SHEET
- CONCRETE SIDEWALK, SEE DETAIL SHEET
 - HEAVY-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - HEAVY-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET
 - LIGHT-DUTY CONCRETE PAVEMENT, SEE DETAIL SHEET



GENERAL NOTES

- ALL CURVE RADII ARE 5 FT AT FACE OF CURB, UNLESS OTHERWISE NOTED.
- ALL PARKING SPACES SHALL BE 9' WIDE X 18' DEEP MIN.
- VAC - VAN ACCESSIBLE PARKING SPACE.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO TOWN OF PITTSBORO STANDARDS AND SPECIFICATIONS.
- SOLID WASTE DUMPSTER AREAS WILL BE SCREENED WITH MATERIALS CONSISTENT WITH THE EXTERIOR MATERIALS OF THE PROPOSED STRUCTURES.
- ALL HVAC AND MECHANICAL EQUIPMENT WILL BE GROUND MOUNTED AND SHALL BE SCREENED FROM PUBLIC VIEW. REFER TO PLANTING PLAN ADDITIONAL INFORMATION.
- ALL CURBING SHALL BE 24" STANDARD CURB AND GUTTER. SEE DETAIL SHEET.
- ALL ON-SITE SIDEWALKS SHALL BE 4-FEET IN WIDTH, UNLESS OTHERWISE NOTED.

TRAFFIC CONTROL NOTES

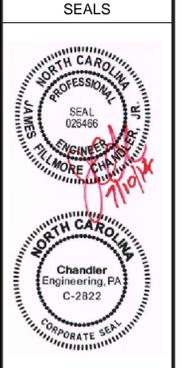
- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

SIGN	MUTCD STD.	SIZE
ACCESSIBLE PARKING	R7-1	12'x18"
- ALL SIGNS SHALL BE MOUNTED WITH 5-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2x4x8 GALV. STEEL U-CHANNEL POST SET IN 18-IN DEEP x 8-IN DIA. CONCRETE FOOTING. SIGNS MOUNTED ADJACENT TO SIDEWALKS MUST BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF SIGN.

MARKING	NCDOT STD.	SIZE	COLOR
PARKING SPACE	-	4-IN	WHT.
CROSSWALK	1205.07 (H-VIS)	24-IN	WHT.

* NO PARKING - FIRE LANE MARKING SHALL CONSIST OF A 4" SOLID YELLOW STRIPE AND 8" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS. STRIPING SHALL BE PLACED AS INDICATED BY THE FOLLOWING LINETYPE -----
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.
- ALL PAVEMENT MARKINGS SHALL BE WHITE PAINT PER THE SPECIFICATIONS.

chandler engineering pa
309 S. Fuquay Avenue, Fuquay-Varina, NC 27526
Phone: 919-552-4845 Fax: 919-552-6962



REVISIONS

DATE	COMMENTS	REVISIONS
7/10/14	REVISED PER TOWN COMMENTS	

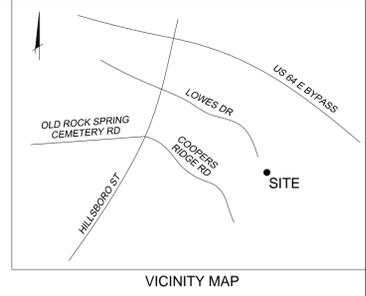
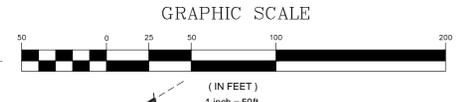
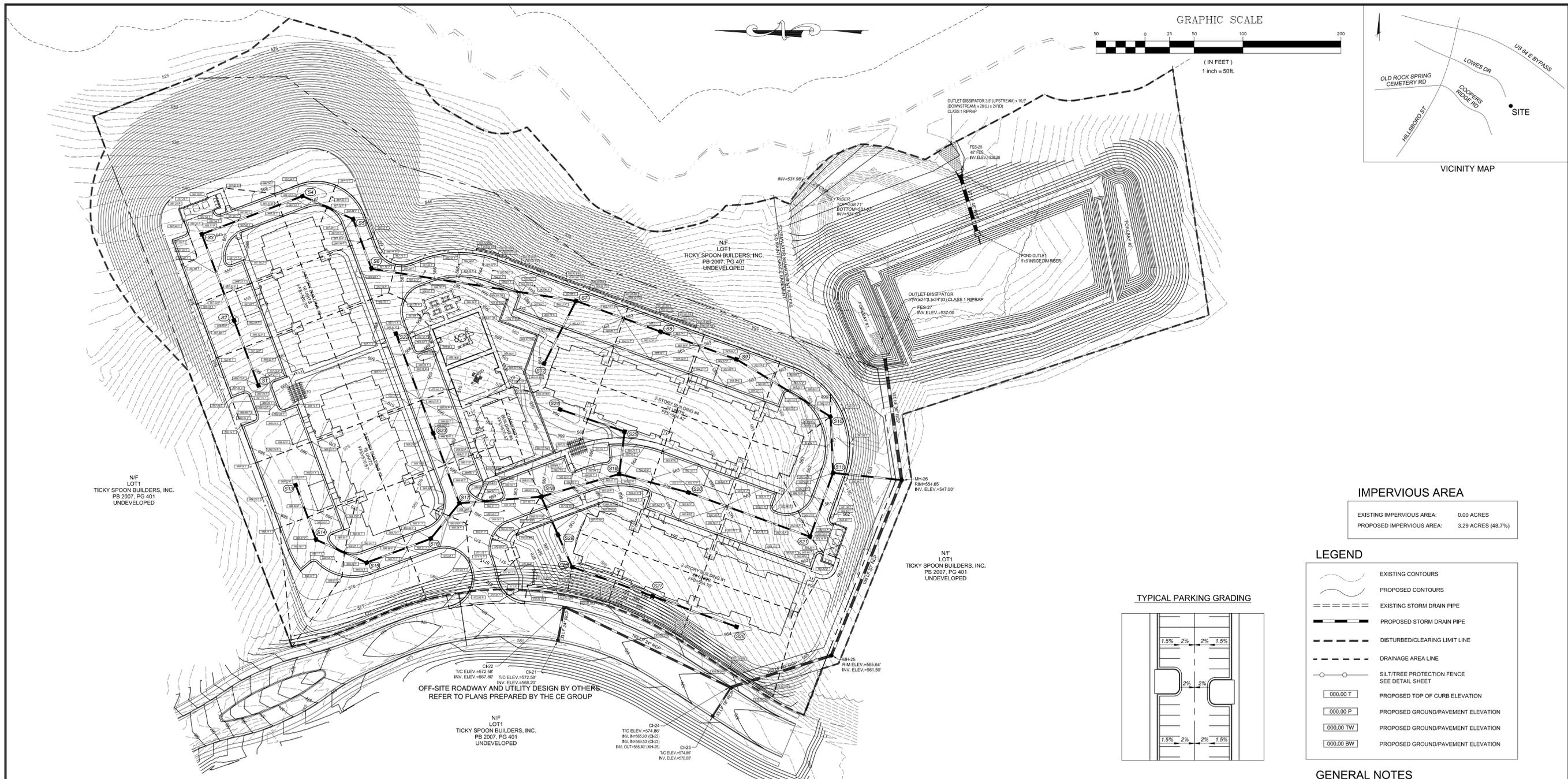
Belmont Pointe Apartments
Town of Pittsboro
Chatham County, North Carolina

REVIEWED BY: JFC
DATE: 5/29/14
PROJECT NUMBER: 13-009

SITE LAYOUT PLAN

C2.01

MAY 2014



N/F
LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

N/E
LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

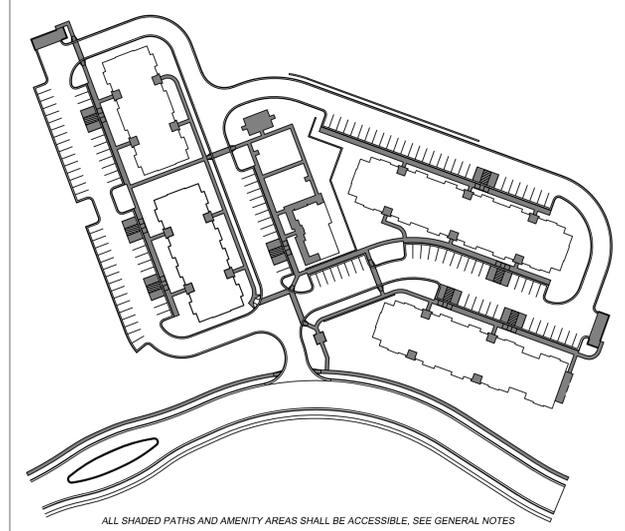
N/F
LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

OFF-SITE ROADWAY AND UTILITY DESIGN BY OTHERS
REFER TO PLANS PREPARED BY THE GE GROUP

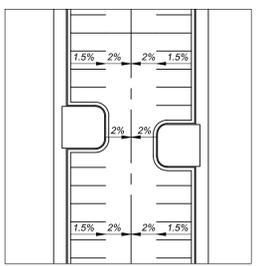
N/F
LOT1
TICKY SPOON BUILDERS, INC.
PB 2007, PG 401
UNDEVELOPED

Ci-24
TIC ELEV.=574.86
INV. ELEV.=565.64
INV. OUT.=565.64 (MH-25)

ACCESSIBLE PATH EXHIBIT



TYPICAL PARKING GRADING



IMPERVIOUS AREA

EXISTING IMPERVIOUS AREA:	0.00 ACRES
PROPOSED IMPERVIOUS AREA:	3.29 ACRES (48.7%)

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- DISTURBED/CLEARING LIMIT LINE
- DRAINAGE AREA LINE
- SILT/TREE PROTECTION FENCE
SEE DETAIL SHEET
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED GROUND/PAVEMENT ELEVATION
- PROPOSED GROUND/PAVEMENT ELEVATION
- PROPOSED GROUND/PAVEMENT ELEVATION

GENERAL NOTES

1. TOTAL DISTURBED AREA = 10.5 ACRES.
2. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISHED GRADES.
3. ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
4. ALL SPOT ELEVATIONS INDICATED ARE AT BACK OF CURB, UNLESS OTHERWISE INDICATED.
5. SITE IS NOT WITHIN 100 YEAR FLOOD PLAIN.
6. ALL ELEVATIONS ARE BASED ON NC GRID NORTH (NAD 83).
7. A PRECONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO WORK, GRADING AND INSTALLATION OF EROSION CONTROL.
8. UTILITY LOCATIONS ARE TO BE FOUND BY CALLING NC ONE CALL.
9. ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 SLOPE IN ALL DIRECTIONS.
10. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 SLOPE FOR THE WIDTH OF THE SIDEWALK.
11. IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
12. SPOT ELEVATIONS ARE GIVEN AT A MAJORITY OF THE MAJOR BREAK POINTS, BUT IT SHOULD NOT BE ASSUMED THAT ALL NECESSARY SPOT ELEVATIONS ARE SHOWN. DUE TO SPACE LIMITATIONS, THERE MAY BE OTHER CRITICAL SPOTS NOT LABELED THAT SHOULD BE TAKEN INTO CONSIDERATION. THE CONTRACTOR SHALL REVIEW THE GRADING PLAN IN DETAIL AND SHALL ENSURE THAT ALL CRITICAL GRADE POINTS ARE STAKED AND FOLLOWED TO PROVIDE POSITIVE DRAINAGE.
13. ALL DOWNSPOUTS SHALL BE CONNECTED AND PIPED TO THE NEAREST STORM STRUCTURE, REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS.
14. ALL ROOF DRAINS SHALL BE 8" PVC (SCH 40) @ 1.04% MIN. SLOPE FROM THE CONNECTION TO THE TRUNK LINE. ALL TRUNK LINES SHALL BE 8" PVC (SCH 40) @ 1.04% MIN. SLOPE. SEE DETAIL SHEET FOR DOWNSPOUT CONNECTOR. USE DUCTILE IRON WHEN COVER IS LESS THAN 18 INCHES. PROVIDE CLEANOUTS AT ENDS AND EVERY 75 FEET MIN.

STORMWATER STATEMENT

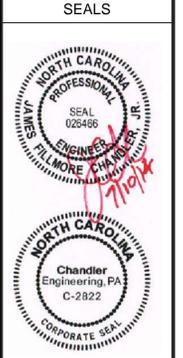
NO FUTURE DEVELOPMENT MAY UTILIZE THE STORMWATER DEVICES SHOWN WITHOUT A STORMWATER MASTER PLAN BEING APPROVED BY THE TOWN AND BEFORE ANY PERMITS ARE ISSUED

MAJOR DRAINAGE STRUCTURE SCHEDULE

STRUCTURE NO.	PIPE DN STRM	PIPE DN STRM	PIPE SLOPE	PIPE DIA. (IN)	PIPE LENGTH (FT)	PIPE MATRL	UPPER INV. (FT)	LOWER INV. (FT)	M STRUCTURE DATA	DEPTH (FT)	TYPE
S1	S2	1.17%	15	70	HDPE WITH STANDARD JOINTS	562.70	561.88	566.70	4.00	DI	
S2	S3	1.11%	15	83	HDPE WITH STANDARD JOINTS	561.88	560.85	566.88	5.00	DI	
S3	S4	1.42%	15	110	HDPE WITH STANDARD JOINTS	560.85	559.29	566.35	5.50	DI	
S4	S5	1.91%	15	56	HDPE WITH STANDARD JOINTS	559.29	558.22	566.79	7.50	DI	
S5	S6	1.96%	15	54	HDPE WITH STANDARD JOINTS	558.22	557.16	567.22	9.00	DI	
S6	S7	1.20%	19	211	HDPE WITH STANDARD JOINTS	557.16	554.82	567.16	10.00	DI	
S7	S8	1.26%	24	91	HDPE WITH STANDARD JOINTS	554.82	553.47	562.12	7.50	DI	
S8	S9	1.22%	30	82	HDPE WITH STANDARD JOINTS	553.47	552.47	562.47	9.00	DI	
S9	S10	1.35%	30	112	HDPE WITH STANDARD JOINTS	552.47	550.86	562.47	10.00	DI	
S10	S11	3.09%	30	57	HDPE WITH STANDARD JOINTS	550.86	549.20	561.46	16.50	DI	
S11	MH26	3.14%	36	70	HDPE WITH STANDARD JOINTS	549.20	547.00	560.20	11.00	DI	
S12	S7	3.92%	15	71	HDPE WITH STANDARD JOINTS	557.40	554.62	563.40	6.00	DI	
S13	S14	1.44%	15	59	HDPE WITH STANDARD JOINTS	564.22	563.37	568.22	4.00	DI	
S14	S15	1.91%	15	56	HDPE WITH STANDARD JOINTS	563.37	562.30	568.37	5.00	DI	
S15	S16	2.49%	18	69	HDPE WITH STANDARD JOINTS	562.30	560.58	568.30	6.00	DI	
S16	S17	4.22%	18	46	HDPE WITH STANDARD JOINTS	560.58	558.64	568.58	8.00	DI	
S17	S18	4.35%	18	83	HDPE WITH STANDARD JOINTS	559.64	555.03	568.39	9.75	DI	
S18	S19	2.21%	24	82	HDPE WITH STANDARD JOINTS	555.03	553.22	567.03	12.00	DI	
S19	S20	2.05%	30	73	HDPE WITH STANDARD JOINTS	553.22	551.72	564.22	11.00	DI	
S20	S21	0.99%	36	132	HDPE WITH STANDARD JOINTS	551.72	550.42	562.47	10.75	DI	
S21	S11	1.77%	36	69	HDPE WITH STANDARD JOINTS	550.42	549.20	562.42	12.00	DI	
S22	S23	1.37%	15	108	HDPE WITH STANDARD JOINTS	562.97	561.49	566.97	4.00	DI	
S23	S17	3.75%	15	76	HDPE WITH STANDARD JOINTS	561.49	556.64	568.49	7.00	DI	
S24	S25	1.45%	15	69	HDPE WITH STANDARD JOINTS	559.50	558.50	563.50	4.00	DI	
S25	S19	12.28%	15	43	HDPE WITH STANDARD JOINTS	558.50	553.22	563.50	5.00	DI	
S26	S27	1.10%	15	91	HDPE WITH STANDARD JOINTS	560.80	559.80	563.80	3.00	DI	
S27	S28	0.92%	15	87	HDPE WITH STANDARD JOINTS	559.80	559.00	563.80	4.00	DI	
S28	S29	1.29%	15	35	HDPE WITH STANDARD JOINTS	559.00	558.55	563.50	4.50	DI	
S29	S18	1.24%	18	42	HDPE WITH STANDARD JOINTS	558.55	558.03	562.30	3.75	DI	

- NOTES
TOP ELEV. OF DROP INLET (DI) IS TOP OF GRATE
- LEGEND
DI DROP INLET, SEE DETAIL SHEET
① STRUCTURE IDENTIFICATION

chandler engineering pa
300 S. Fugate Avenue, Fugate-Varna, NC 27526
Phone: 919-552-4845 Fax: 919-552-6962



REVISIONS

DATE	COMMENTS
7/7/14	REVISED PER TOWN COMMENTS

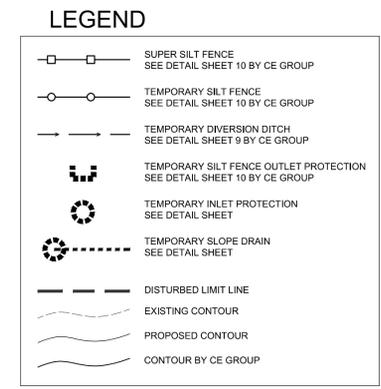
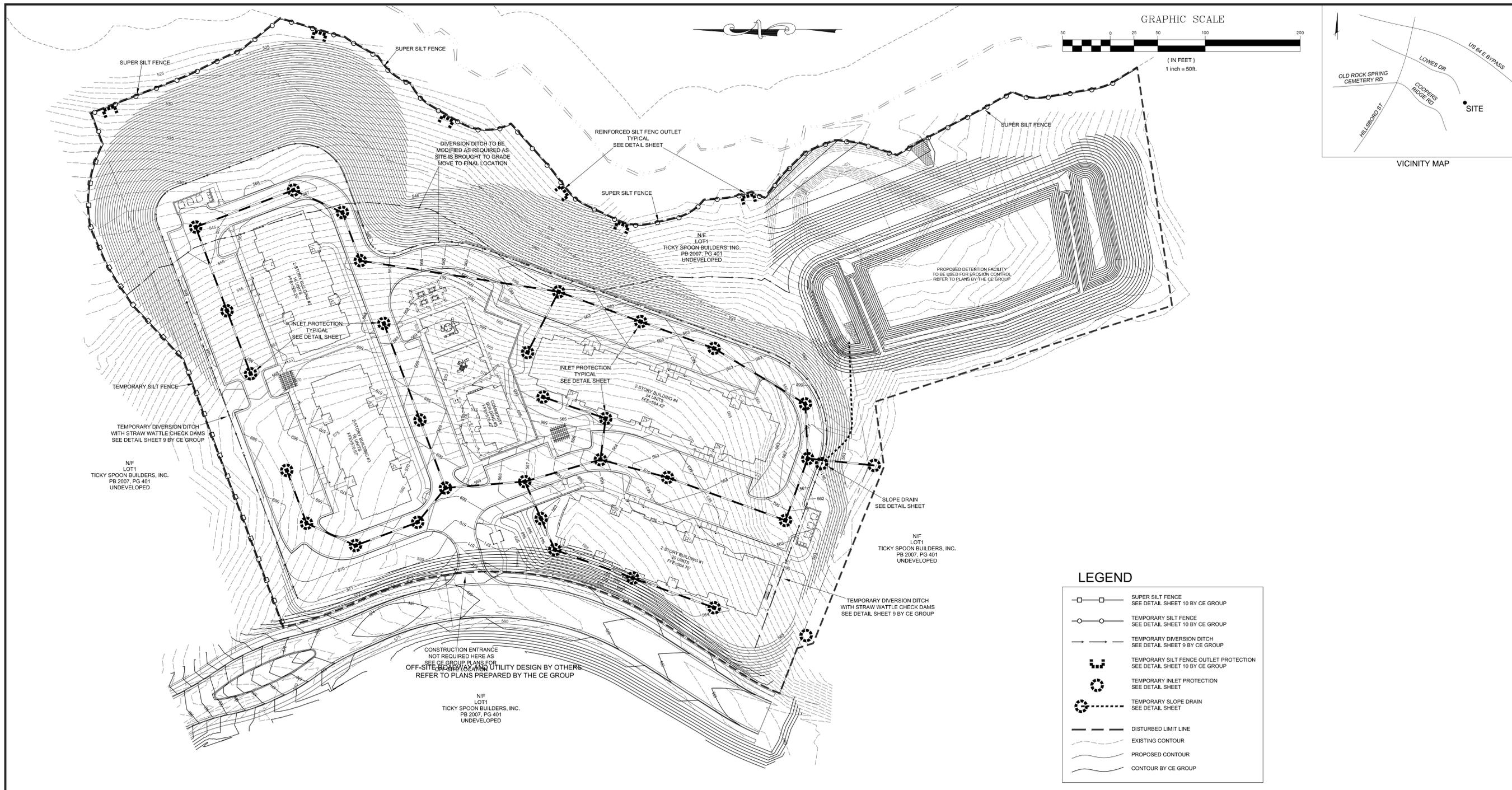
CONSTRUCTION DOCUMENT

Bellemont Pointe Apartments
Town of Pittsboro
Chatham County, North Carolina

REVIEWED BY: JFC
DATE: 5/29/14
PROJECT NUMBER: 13-009

SITE GRADING PLAN

C3.01
MAY 2014



DWQ CONSTRUCTION GENERAL PERMIT STABILIZATION REQUIREMENTS

STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

DISTURBANCE STATEMENT

THE LEVEL OF ACTIVITY AND DISTURBANCE WILL REQUIRE AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN BY NCDENR. PLEASE PROVIDE EVIDENCE OF AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY LAND DISTURBING ACTIVITY.

MAINTENANCE PLAN

- CONTRACTOR RESPONSIBLE FOR INSTALLING AND MAINTAINING A RAIN GAUGE, KEEPING DAILY RECORDS ON SITE AND FILLING OUT PROPER REPORTS FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. IN THESE REPORTS ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED STABILITY AND OPERATION. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED. ALL MEASURES, RECORDS, ETC. SHALL BE MAINTAINED PER THE REQUIREMENTS OF NCDENR WATER QUALITY SECTION, THE OWNER, ENGINEER AND ARCHITECT.
- REMOVE SEDIMENT FROM THE RISER/SKIMMER SEDIMENT BASIN ONCE STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. REPAIR SLOPE LINERS AND BAFFLES AS REQUIRED AND NEEDED.
- REMOVE SEDIMENT FROM BEHIND SILT FENCE WHEN DEPTH REACHES 6-INCHES AT THE FENCE. REPAIR SILT FENCE AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS SHALL BE FERTILIZED, RE-SEEDED AS NECESSARY, AND MULCHED ACCORDING TO PROJECT SPECS TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE GROWTH.
- MAINTAIN SILT FENCING THROUGHOUT DURATION OF CONSTRUCTION.

DIVERSION NOTE

ALL DIVERSIONS TO BE SEEDED AND LINED. ALL DIVERSIONS GREATER THAN 2% IN SLOPE SHALL BE LINED WITH EXCELSIOR MATTING OR EQUAL. ALL DIVERSIONS LESS THAN 2% IN SLOPE SHALL BE LINED WITH STRAW NETTING AND TACKED.

GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR ENGINEER.
- TOTAL DISTURBED AREA: 10.5 ACRES ON SITE.
- ALL STORM DRAINAGE PIPES SHALL BE THOROUGHLY FLUSHED OF ALL SEDIMENT FOLLOWING SITE STABILIZATION. INTERIOR FLUSHING OF SYSTEM SHALL BE PERFORMED AS NEEDED TO MAINTAIN PROPER FUNCTIONING OF THE DRAINAGE SYSTEM. CONTRACTOR IS RESPONSIBLE FOR CAPTURING AND PROPERLY DISPOSING OF ALL SEDIMENT FLUSHED FROM THE EXISTING AND PROPOSED STORM SYSTEM.
- ALL STREETS IN FRONT OF PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULES.
- ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THIS PLAN MAY BE REQUIRED TO INSURE NO SEDIMENT LEAVES THE SITE. THE CONTRACTOR IS EXPECTED TO NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY IF THEY FEEL ADDITIONAL MEASURES ARE NEEDED.
- THE CONTRACTOR MUST COMPLY WITH ALL PROVISIONS OF THE NORTH CAROLINA GENERAL STORMWATER PERMIT FOR LAND DISTURBING CONSTRUCTION ACTIVITIES.

CONSTRUCTION SEQUENCE

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS. KEEP A COPY OF THE APPROVED PLAN ON-SITE AND POST APPROVAL PLACARD.
- NOTIFY NCDENR, TOWN, ARCHITECT, ENGINEER AND OWNER REPRESENTATIVE AND CONDUCT PRE-CONSTRUCTION CONFERENCE AS REQUIRED PRIOR TO STARTING CLEARING OR ANY OTHER CONSTRUCTION.
- INSTALL THE GRAVEL CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCES. CLEAR ONLY AS REQUIRED TO INSTALL THESE DEVICES. ONCE THIS IS COMPLETE, INSTALL THE SKIMMER BASIN AS SHOWN AND THE DIVERSIONS AND SLOPE DRAINS THAT DIRECT RUNOFF. INSTALL CHECK DAMS AS INDICATED AND INSTALL EROSION CONTROL MATTING IN ALL DIVERSIONS PLUS THE BASIN SKIMMER AND SPILLWAY DISCHARGE AREAS.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
- BEGIN ROUGH GRADING OF THE SITE. SEED AND STABILIZE SLOPES AS THEY ARE ESTABLISHED AND AS REQUIRED PER THE GENERAL PERMIT STABILIZATION REQUIREMENTS FOUND ON THIS SHEET.
- INSPECT ALL MEASURES AND DEVICES WEEKLY AND AFTER ALL RAINFALL EVENTS. MAKE PROMPT REPAIRS AS NEEDED.
- STABILIZE SITE IMMEDIATELY AS AREAS ARE BROUGHT UP TO FINISHED GRADE WITH VEGETATION, PAVING AND TEMPORARY DITCH AND SLOPE LINING AS REQUIRED BY THE GENERAL PERMIT STABILIZATION REQUIREMENTS FOUND ON THIS SHEET. STABILIZE ALL SLOPES 6:1 OR STEEPER WITH EROSION CONTROL MATTING.
- ADDITIONAL EROSION MEASURES MAY BE NECESSARY DEPENDING ON THE PERFORMANCE OF THOSE SHOWN ON THE PLAN. THE CONTRACTOR WILL INSTALL ADDITIONAL MEASURES IF NECESSARY AS REQUIRED BY LINCOLN COUNTY, OWNER, ARCHITECT, OR ENGINEER.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED, CALL FOR INSPECTION BY NCDENR AND THE TOWN.
- WHEN SITE IS APPROVED BY COUNTY INSPECTOR, COVERT BASIN TO PERMANENT POND AND FINE GRADE, SEED AND STABILIZE THIS AREA.
- ONCE REMAINING VEGETATION IS ESTABLISHED, CALL FOR A FINAL INSPECTION BY NCDENR AND THE TOWN TO OBTAIN A CERTIFICATE OF COMPLETION AND REMOVE REMAINING PERIMETER MEASURES.

SLOPE & SURFACE STABILIZATION

PURSUANT TO G.S. 113A-57(3), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE MAINTAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 21 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT. SLOPE EROSION CONTROL MATTING SHALL BE INSTALLED FOR TEMPORARY STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (6:1 OR STEEPER). INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

chandler engineering pa
 309 S. Fungway Avenue, Fungway-Village, NC 27526
 Phone: 919-552-4845 Fax: 919-552-6962

SEALS

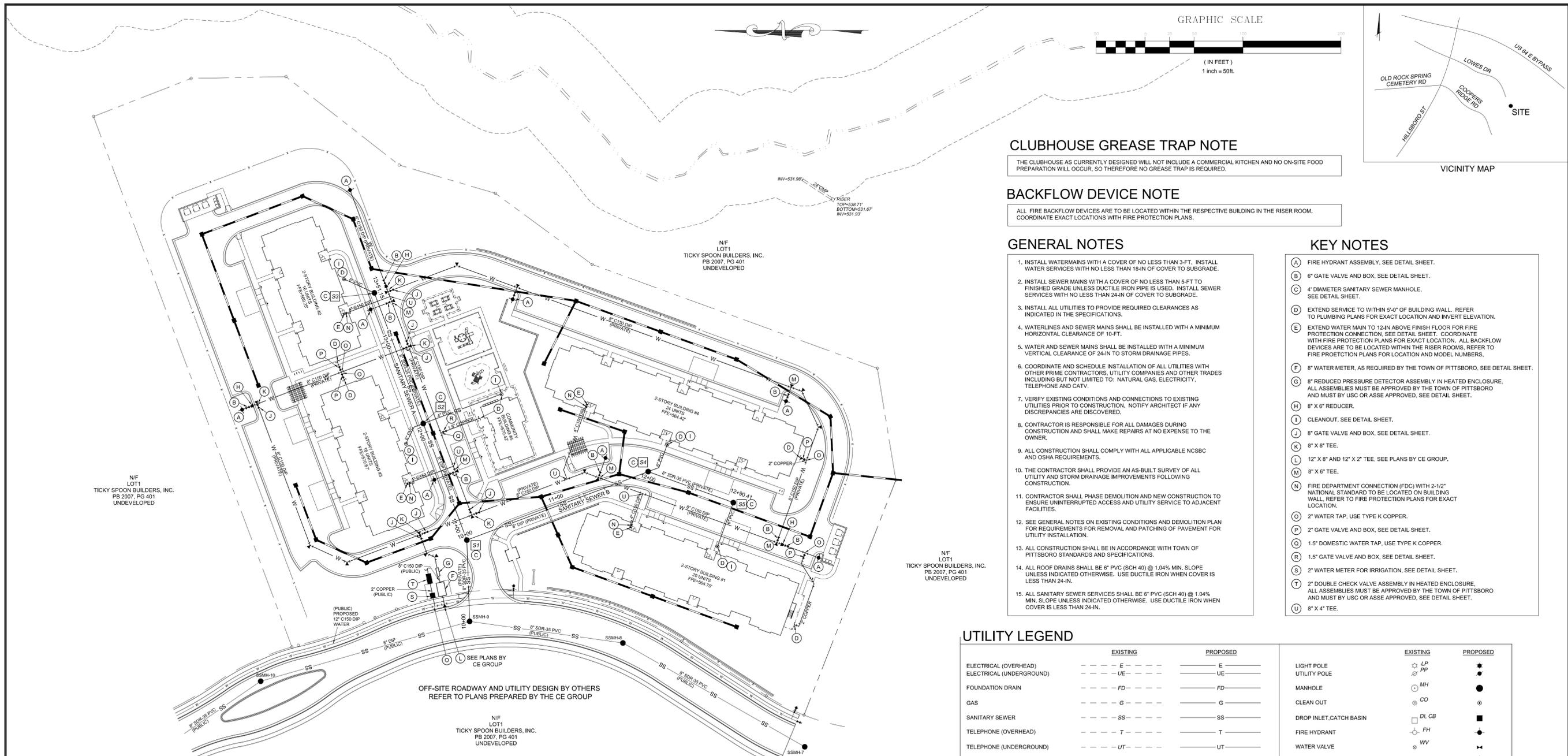
REVISIONS

DATE	COMMENTS
7/10/14	REVISED PER TOWN COMMENTS

Bellemont Pointe Apartments
Town of Pittsboro
 Chatham County, North Carolina

REVIEWED BY: JFC
 DATE: 5/29/14
 PROJECT NUMBER: 13-009

SITE SEDIMENTATION AND EROSION CONTROL PLAN



CLUBHOUSE GREASE TRAP NOTE

THE CLUBHOUSE AS CURRENTLY DESIGNED WILL NOT INCLUDE A COMMERCIAL KITCHEN AND NO ON-SITE FOOD PREPARATION WILL OCCUR, SO THEREFORE NO GREASE TRAP IS REQUIRED.

BACKFLOW DEVICE NOTE

ALL FIRE BACKFLOW DEVICES ARE TO BE LOCATED WITHIN THE RESPECTIVE BUILDING IN THE RISER ROOM. COORDINATE EXACT LOCATIONS WITH FIRE PROTECTION PLANS.

GENERAL NOTES

- INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3-FT. INSTALL WATER SERVICES WITH NO LESS THAN 18-IN OF COVER TO SUBGRADE.
- INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 5-FT TO FINISHED GRADE UNLESS DUCTILE IRON PIPE IS USED. INSTALL SEWER SERVICES WITH NO LESS THAN 24-IN OF COVER TO SUBGRADE.
- INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
- WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10-FT.
- WATER AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24-IN TO STORM DRAINAGE PIPES.
- COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATV.
- VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
- CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES.
- SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF PITTSBORO STANDARDS AND SPECIFICATIONS.
- ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN.
- ALL SANITARY SEWER SERVICES SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24-IN.

KEY NOTES

- (A) FIRE HYDRANT ASSEMBLY. SEE DETAIL SHEET.
- (B) 6" GATE VALVE AND BOX. SEE DETAIL SHEET.
- (C) 4" DIAMETER SANITARY SEWER MANHOLE. SEE DETAIL SHEET.
- (D) EXTEND SERVICE TO WITHIN 5'-0" OF BUILDING WALL. REFER TO PLUMBING PLANS FOR EXACT LOCATION AND INVERT ELEVATION.
- (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION CONNECTION. SEE DETAIL SHEET. COORDINATE WITH FIRE PROTECTION PLANS FOR EXACT LOCATION. ALL BACKFLOW DEVICES ARE TO BE LOCATED WITHIN THE RISER ROOMS. REFER TO FIRE PROTECTION PLANS FOR LOCATION AND MODEL NUMBERS.
- (F) 8" WATER METER. AS REQUIRED BY THE TOWN OF PITTSBORO. SEE DETAIL SHEET.
- (G) 8" REDUCED PRESSURE DETECTOR ASSEMBLY IN HEATED ENCLOSURE. ALL ASSEMBLIES MUST BE APPROVED BY THE TOWN OF PITTSBORO AND MUST BY USC OR ASSE APPROVED. SEE DETAIL SHEET.
- (H) 8" X 6" REDUCER.
- (I) CLEANOUT. SEE DETAIL SHEET.
- (J) 8" GATE VALVE AND BOX. SEE DETAIL SHEET.
- (K) 8" X 8" TEE.
- (L) 12" X 8" AND 12" X 2" TEE. SEE PLANS BY CE GROUP.
- (M) 8" X 6" TEE.
- (N) FIRE DEPARTMENT CONNECTION (FDC) WITH 2-1/2" NATIONAL STANDARD TO BE LOCATED ON BUILDING WALL. REFER TO FIRE PROTECTION PLANS FOR EXACT LOCATION.
- (O) 2" WATER TAP. USE TYPE K COPPER.
- (P) 2" GATE VALVE AND BOX. SEE DETAIL SHEET.
- (Q) 1.5" DOMESTIC WATER TAP. USE TYPE K COPPER.
- (R) 1.5" GATE VALVE AND BOX. SEE DETAIL SHEET.
- (S) 2" WATER METER FOR IRRIGATION. SEE DETAIL SHEET.
- (T) 2" DOUBLE CHECK VALVE ASSEMBLY IN HEATED ENCLOSURE. ALL ASSEMBLIES MUST BE APPROVED BY THE TOWN OF PITTSBORO AND MUST BY USC OR ASSE APPROVED. SEE DETAIL SHEET.
- (U) 8" X 4" TEE.

UTILITY LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
ELECTRICAL (OVERHEAD)	---	E	LIGHT POLE	LP	LP
ELECTRICAL (UNDERGROUND)	---	UE	UTILITY POLE	UE	UE
FOUNDATION DRAIN	---	FD	MANHOLE	MH	MH
GAS	---	G	CLEAN OUT	CO	CO
SANITARY SEWER	---	SS	DROP INLET CATCH BASIN	DI, CB	DI, CB
TELEPHONE (OVERHEAD)	---	T	FIRE HYDRANT	FH	FH
TELEPHONE (UNDERGROUND)	---	UT	WATER VALVE	WV	WV
WATER	---	W	POST INDICATOR VALVE		
ROOF DRAIN	---	RD	THRUST BLOCKING		
FORCE MAIN (SEWER)	---	FM	DOWNSPOUT CONNECTION		
FIRE PROTECTION	---	FP	REDUCER		
PLANTER DRAIN	---	PD			
CHILLED WATER	---	CW			
STORM DRAIN	---	SD			

WATER FLOW CALCULATION

DWELLINGS: 76 UNITS @ 400 GPD PER UNIT = 30,400 GPD

SEWER FLOW CALCULATION

DWELLINGS: 12 - 1 BEDROOM UNITS @ 120 GPD PER UNIT = 1,440 GPD PLUS,
 DWELLINGS: 44 - 2 BEDROOM UNITS @ 240 GPD PER UNIT = 10,560 GPD PLUS,
 DWELLINGS: 20 - 3 BEDROOM UNITS @ 360 GPD PER UNIT = 7,200 GPD PLUS,
 COMMUNITY BUILDING: 2 PERMANENT DAILY EMPLOYEES @ 25 GPD PER EMPLOYEE = 50 GPD THEREFORE,
 TOTAL ESTIMATED AVERAGE DAILY FLOW = 19,250 GALLONS PER DAY

03. NOTIFICATION: The Owner/Contractor shall notify the Town of Pittsboro at least 48 hours prior to beginning any construction work. Once work has begun, at least 48 hours notice shall be given prior to any sort of disruption to the Town's services such as tapping water mains, operating valves, closing streets, plugging sewers, etc.

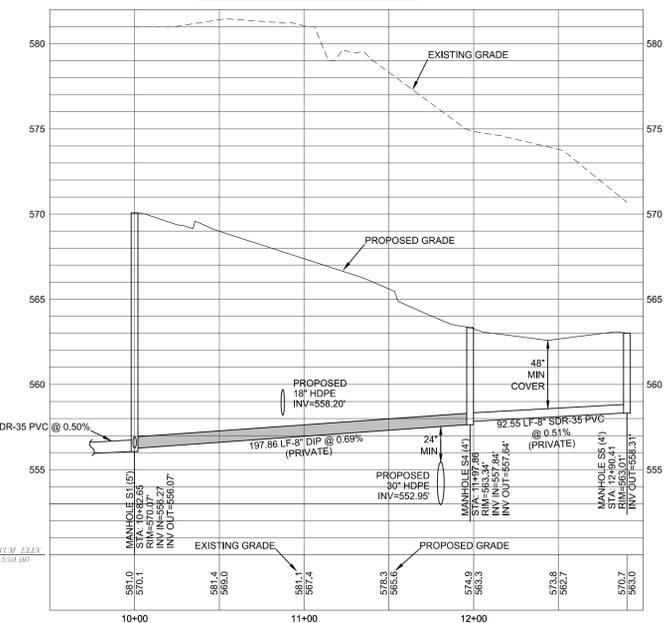
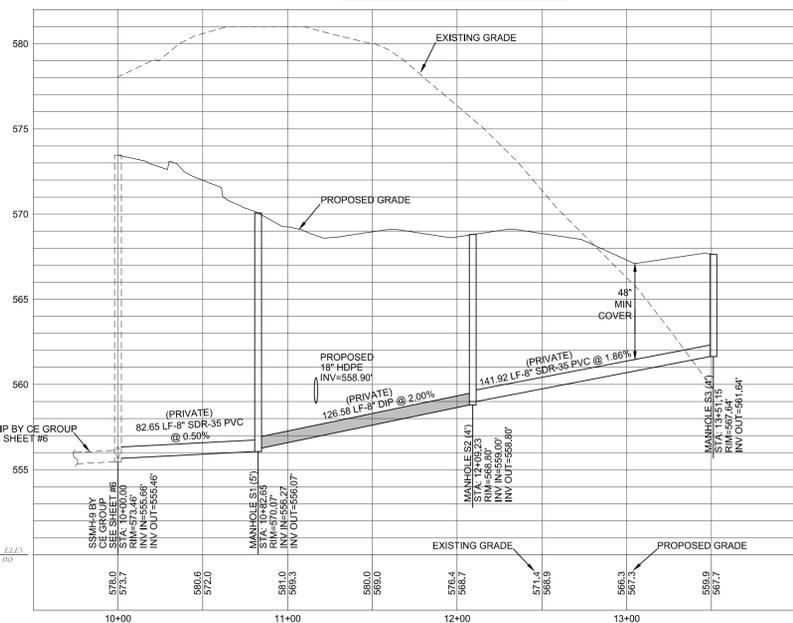
Notification must be provided by direct communication. Voice mail or email will not be considered proper notification unless adequately responded to by a Town of Pittsboro representative.

The Owner/Contractor shall be responsible for notifying all customers affected by service interruptions. The Town of Pittsboro will not approve service interruptions until proof is provided that proper customer notification has been provided.

Existing valves shall be operated only with a representative of the Town of Pittsboro present.

UTILITY INSPECTION NOTE

ALL ON-SITE INSPECTIONS OF THE PRIVATE WATER AND SEWER SYSTEMS TO BE CONDUCTED BY JIM CHANDLER, PE OF CHANDLER ENGINEERING, PA (919-390-4227) OR SOMEONE FROM HIS OFFICE UNDER HIS REASONABLE CHARGE



chandler engineering pa
 300 S. Fungway Avenue, Fungway-Village, NC 27526
 Phone: 919-552-4845 Fax: 919-552-6982



DATE	COMMENTS
7/10/14	REVISED PER TOWN COMMENTS
8/6/14	REVISED PER TOWN COMMENTS

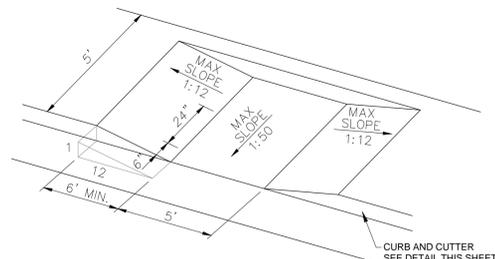
Bellemont Pointe Apartments
Town of Pittsboro
Chatham County, North Carolina

REVIEWED BY: JFC
 DATE: 5/29/14
 PROJECT NUMBER: 13-009

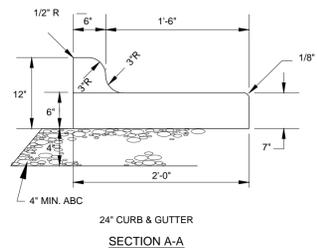
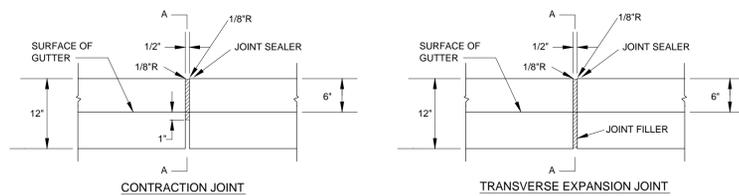
SITE UTILITY PLAN

C5.01

MAY 2014



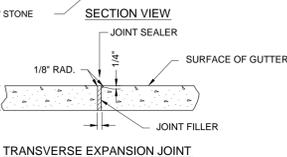
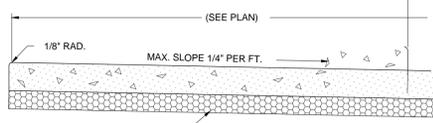
HANDICAP RAMP DETAIL
NOT TO SCALE



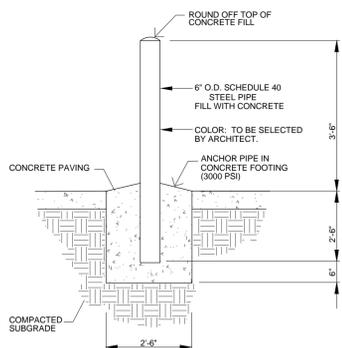
STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE

GENERAL NOTES:

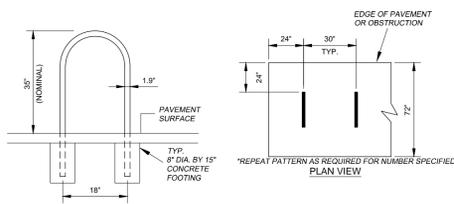
1. A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS UNLESS INDICATED OTHERWISE. SEE SPECS FOR ADDITIONAL JOINT SPACING REQUIREMENTS.
2. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS.
3. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
4. ALL CONCRETE SHALL BE 4,000 P.S.I.



TYPICAL CONCRETE SIDEWALK
NOT TO SCALE

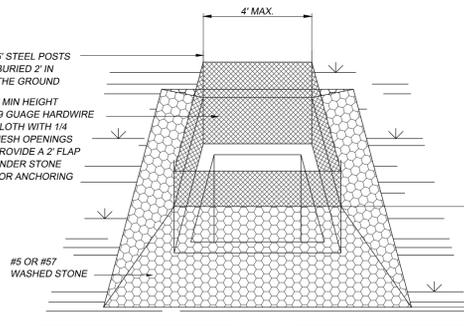


STEEL BOLLARD
NOT TO SCALE



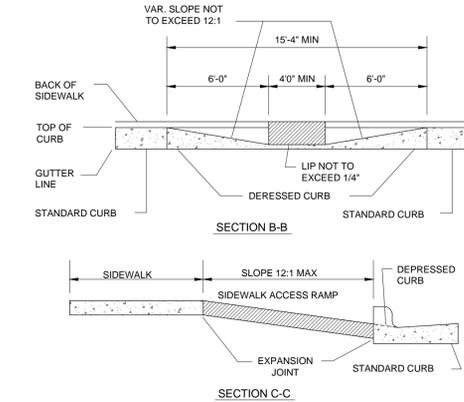
- NOTES:**
1. INVERTED U-SHAPED RACKS SHALL BE "ULOK" AS MANUFACTURED BY SUNSHINE-U-LOK CORP. OR APPROVED EQUAL.
 2. 2" DIAMETER, MINIMUM SCHEDULE 10, 1/4" GAUGE STEEL PIPE WITH DIPPED AND BAKED BLACK POLYVINYL FINISH. 180 DEGREE BANDS IN U-PATTERN TO PROVIDE TWO VERTICAL POSTS A WIDTH OF 18" APART. INSTALLED HEIGHT OF 36". ANCHOR TO SUBSURFACE.

INVERTED U-SHAPED BIKE RACK
NOT TO SCALE



- MAINTENANCE**
1. INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

TEMPORARY INLET PROTECTION
NOT TO SCALE



NOTES:

1. WALKING SURFACES SHALL BE SLIP RESISTANT. COLORS FOR THE RAMP SHALL BE DARK CHARCOAL GRAY FOR CONTRAST WITH LIGHT PATHWAY COLORS AND LIGHT CONCRETE GRAY FOR CONTRAST WITH DARK PATHWAY COLORS AND SHALL BE AN INTEGRAL PART OF THE CONSTRUCTION MATERIAL.
2. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 17% (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
3. IN NO CASE SHALL THE WIDTH OF THE ACCESS RAMP BE LESS THAN 40" (3'-4") HOWEVER, RAMP WIDTH MAY EXCEED 40".
4. USE CLASS B (2,500-PSI) CONCRETE WITH SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH, NON-SKID TYPE SURFACE.
5. A 1/2" EXPANSION JOINT SHALL BE PLACED WHERE THE ACCESS RAMP JOINS THE CURB. REFER TO TYPICAL SIDEWALK DETAIL FOR JOINT REQUIREMENTS.

TYPICAL ACCESSIBLE CURB RAMP
NOT TO SCALE

	HEAVY DUTY ON-SITE PAVING WITHIN TRAVEL AISLES	LIGHT DUTY ON-SITE PAVING WITHIN PARKING STALLS
TYPE SF9.5A SURFACE COURSE	3-IN	2-IN
AGGREGATE BASE COURSE	8-IN	6-IN

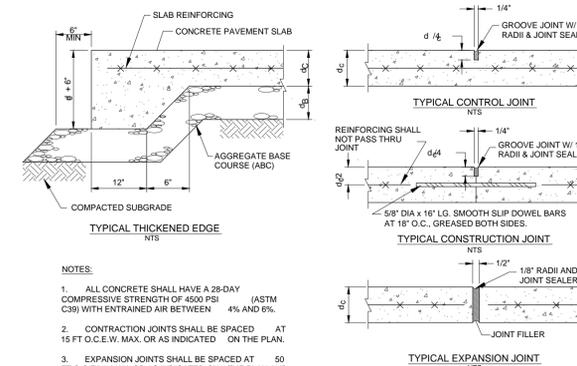
NOTES:

1. PREPARING, GRADING, SHAPING, AND COMPACTION OF SUBGRADE SOILS SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 501 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2009). PREPARING, GRADING, SHAPING, AND COMPACTION OF AGGREGATE BASE COURSE (ABC) STONE SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 5, SECTION 520 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2009). PLACEMENT AND COMPACTION OF THE BITUMINOUS CONCRETE SHOULD BE PERFORMED IN ACCORDANCE WITH DIVISION 8, SECTION 800 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES (2009). PROPER SUBGRADE COMPACTION, ADHERENCE TO THE NCDOT SPECIFICATIONS, AND COMPLIANCE WITH PROJECT PLANS AND SPECIFICATIONS ARE CRITICAL TO THE PERFORMANCE OF THE CONSTRUCTED PAVEMENT.
2. THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

TYPICAL PAVEMENT SECTIONS

CONSTRUCTION SPECIFICATIONS

1. PLACE SLOPE DRAINS ON UNDISTURBED SOIL OR WELL COMPACTED FILL AT LOCATIONS AND ELEVATIONS SHOWN ON THE PLAN.
2. SLIGHTLY SLOPE THE SECTION OF PIPE UNDER THE DIKE TOWARD ITS OUTLET.
3. HAND TAMP THE SOIL UNDER AND AROUND THE ENTRANCE SECTION IN LIFTS NOT TO EXCEED 6 INCHES.
4. ENSURE THAT ALL FILL OVER THE DRAIN AT THE TOP OF THE SLOPE HAS MINIMUM DIMENSIONS OF 1.5 FEET DEPTH, 4 FEET TOP WIDTH, AND 3:1 SIDE SLOPES.
5. ENSURE THAT ALL SLOPE DRAIN CONNECTIONS ARE WATERTIGHT.
6. ENSURE THAT ALL FILL MATERIAL IS WELL-COMPACTED. SECURELY FASTEN THE EXPOSED SECTION OF THE DRAIN WITH GROMMETS OR STAKES SPACED NO MORE THAN 10 FEET APART.
7. EXTEND THE DRAIN BEYOND THE TOE OF THE SLOPE, AND ADEQUATELY PROTECT THE OUTLET FROM EROSION.
8. MAKE THE SETTLED, COMPACTED DIKE RIDGE NO LESS THAN 1 FEET ABOVE THE TOP OF THE PIPE AT EVERY POINT.
9. IMMEDIATELY STABILIZE ALL DISTURBED AREAS FOLLOWING CONSTRUCTION.

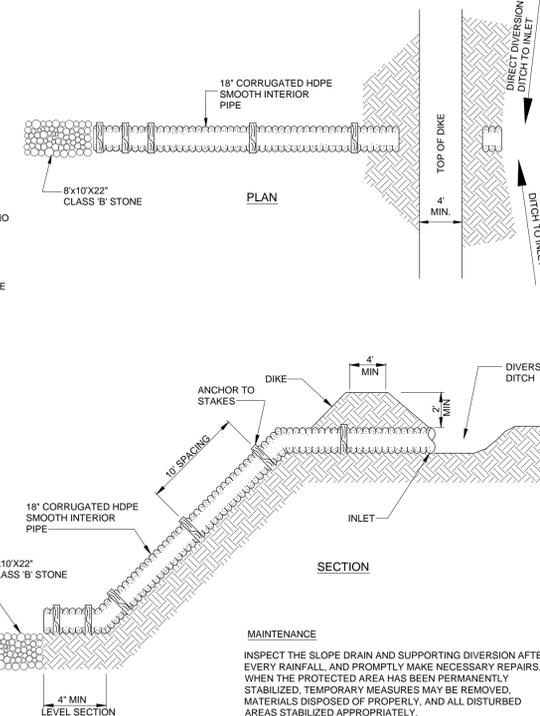


NOTES:

1. ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI (ASTM C39) WITH ENTRAINED AIR BETWEEN 4% AND 6%.
2. CONTRACTION JOINTS SHALL BE SPACED AT 15 FT O.C.E.W. MAX. OR AS INDICATED ON THE PLAN.
3. EXPANSION JOINTS SHALL BE SPACED AT 50 FT O.C.E.W. MAX. OR AS INDICATED ON THE PLAN AND WHERE CONCRETE PAVEMENT ABUTS ANY RIGID OBJECT.

CONCRETE PAVEMENT
NOT TO SCALE

CONCRETE PAVEMENT DIMENSIONS	HEAVY	LIGHT
CONC SLAB THICKNESS, d = C	6"	4"
ABC THICKNESS, d = B	6"	4"
REINFORCEMENT = 6x6-W2.9xW2.9		



TEMPORARY SLOPE DRAIN
NOT TO SCALE

MAINTENANCE

INSPECT THE SLOPE DRAIN AND SUPPORTING DIVERSION AFTER EVERY RAINFALL, AND PROMPTLY MAKE NECESSARY REPAIRS. WHEN THE PROTECTED AREA HAS BEEN PERMANENTLY STABILIZED, TEMPORARY MEASURES MAY BE REMOVED. MATERIALS DISPOSED OF PROPERLY, AND ALL DISTURBED AREAS STABILIZED APPROPRIATELY.

DOWNSPOUT CONNECTORS

Seals out problem causing debris and pests.

Ferroc Flexible Downspout Connectors stretch easily over most common downspouts and drain pipes to seal out problem causing debris and pests. Installation is fast and simple.

FEATURES | **SPECIFICATIONS** | **MODELS** | **ACCESSORIES**

MODELS

- DSC-43 - 4" (101mm) Drain Pipe and 3" x 2" (75 x 50mm) rectangular Downspout
- DSC-33 - 3" (76mm) Drain Pipe and 3" (76mm) round or 2-1/2" (63.5mm) square Downspout
- DSC-534 - 4" (101mm) Drain Pipe and 5" x 3" rectangular Downspout

NOTES:

SPECIFIC PRODUCT SHOWN FOR REFERENCE ONLY. CONTRACTOR MAY SUBMIT EQUIVALENT PRODUCT FOR SUBSTITUTION APPROVAL. MODEL AND SIZE SHALL BE AS REQUIRED BASED ON DOWNSPOUT SIZE SPECIFIED BY THE ARCHITECT. REFER TO ARCHITECTURAL PLANS.

DOWNSPOUT CONNECTOR
NOT TO SCALE

ALL SIGNS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, NCSCB AND ADA SPECIFICATIONS AND REQUIREMENTS.



R7-8A

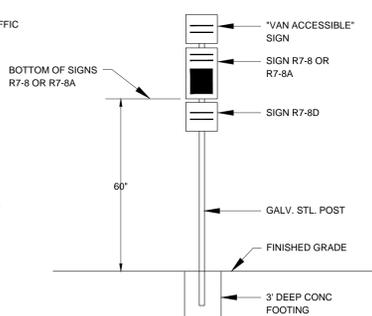


R7-8D

NOTE: MAXIMUM PENALTY SHALL BE PER LATEST FINE AMOUNT AS SPECIFIED BY LOCAL AUTHORITIES.



VAN ACCESSIBLE



SEALS



REVISIONS

DATE	COMMENTS	REVISION
7/7/14	REVISED PER TOWN COMMENTS	

CONSTRUCTION DOCUMENT

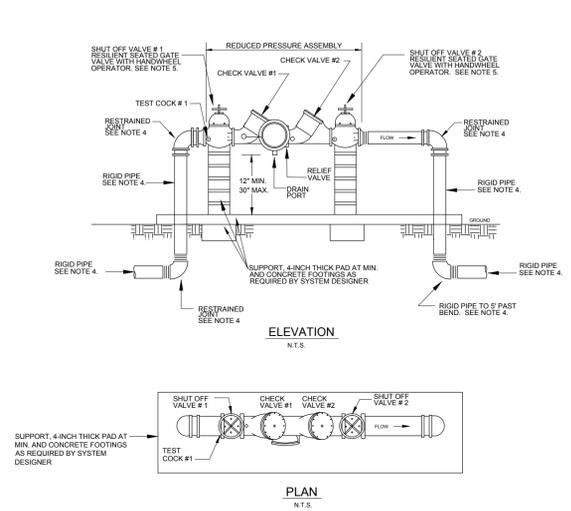
Bellemont Pointe Apartments
Town of Pittsboro
Chatham County, North Carolina

REVIEWED BY:	JFC
DATE:	5/29/14
PROJECT NUMBER:	13-009

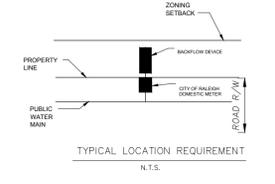
SITE DETAILS

C7.01

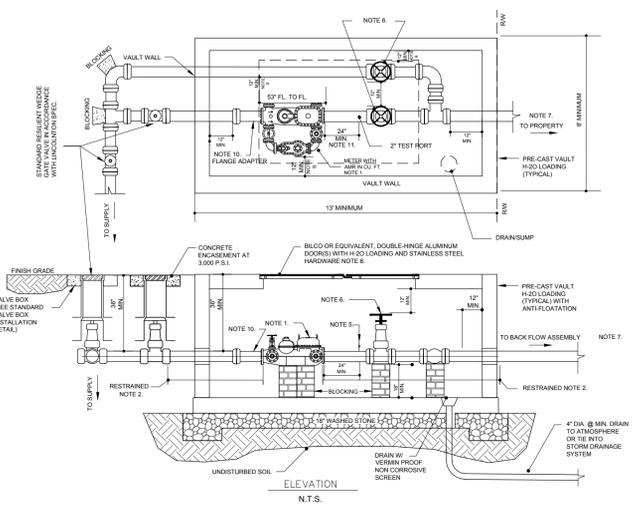
MAY 2014



- NOTES:**
- REDUCED PRESSURE ASSEMBLY (RPA) MUST CONFORM TO TOWN OF PITTSBORO SPECIFICATIONS AND MUST BE USC OR ASSE APPROVED.
 - 8" RPA SHALL BE SUPPORTED WITH ADEQUATE SUPPORT PEDESTAL(S).
 - SUPPORT PEDESTAL(S) SHALL NOT BLOCK RELIEF VALVE OR DRAIN POINT.
 - OUTDOOR INSTALLATION SHALL HAVE A PROTECTIVE ENCLOSURE AS SPECIFIED BY THE TOWN OF PITTSBORO. HEATED ENCLOSURES ARE RECOMMENDED FOR THE ABOVE GROUND BACKFLOW ASSEMBLY.
 - 2" TO 3" BRASS, K COPPER OR GALVANIZED PIPE, 4" TO 10" DIP.
 - RESTRAINED JOINTS SHALL BE WITH MEGA LUG RESTRAINTS OR APPROVED EQUAL.
 - THE TOWN OF PITTSBORO APPROVED RPA INCLUDES SHUT OFF VALVES #1 AND #2 AS PART OF THE ASSEMBLY. NO SUBSTITUTIONS SHALL BE PERMITTED.
 - TEST COCK #1 SHALL BE UPSTREAM OF SHUT OFF VALVE #1 AND IS PART OF THE APPROVED ASSEMBLY.
 - BACKFLOW DEVICE SHALL BE EQUIPPED WITH FLOW DETECTION METER AS REQUIRED BY THE TOWN OF PITTSBORO. COORDINATE REQUIREMENTS WITH THE TOWN.

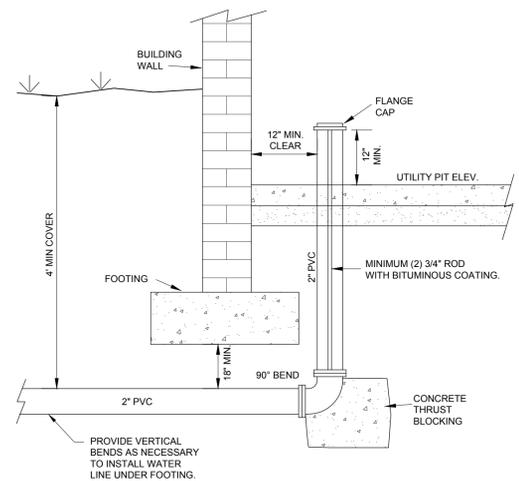


8" REDUCED PRESSURE DETECTOR ASSEMBLY
NOT TO SCALE

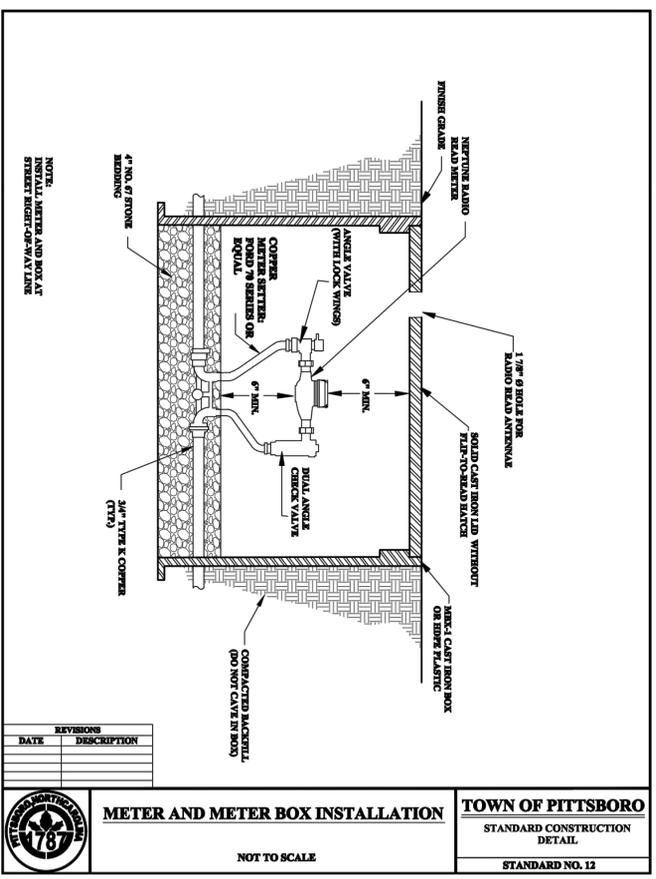


- GENERAL NOTES:**
- HERSEY AFM 8"X8"X1" COMPOUND WATER METER EQUIPPED WITH AMR READ CUBIC FEET REGISTRATION OR EQUAL. THE LOCATION OF THE FITTINGS MUST COMPLY WITH THE MANUFACTURER'S RECOMMENDATIONS FOR STRAIGHT PIPE CONDITIONS.
 - MASTER METER ASSEMBLY TO BE RESTRAINED DUCTILE IRON FLANGE PIPE WITHIN VAULT.
 - WATER MAIN AND FITTINGS TO BE A MAXIMUM OF 3.5 BELOW FINISHED GRADE.
 - PRECAST CONCRETE BELOW-GROUND VAULT(S) WITH H-20 LOADING. VAULT(S) AND OPENINGS SHALL BE WATER TIGHT AND SEALED. MASTIC GASKETS, NON-SHRINKING GROUT AND RESILIENT PIPE CONNECTORS SHALL BE USED, AS REQUIRED. ANTI-FLOATATION MEASURES MUST BE PROVIDED.
 - 2-INCH TEST PORT BY TAP ASSEMBLY, BALL VALVE, AND PLUG.
 - RESILIENT WEDGE GATE VALVE, NON-RISING STEM WITH HAND WHEEL.
 - APPROPRIATE BACKFLOW ASSEMBLY, IN ACCORDANCE WITH THE TOWN OF PITTSBORO CODE OF ORDINANCES. BACKFLOW ASSEMBLY MUST BE LOCATED WITHIN 5 FEET OF METER UNLESS OTHERWISE APPROVED BY THE TOWN OF PITTSBORO BACKFLOW ADMINISTRATOR.
 - THE DOORS MUST BE FLUSH MOUNT, LOCKABLE AND SIZED SUCH THAT THE VALVES, METER, AND TEST PORT ARE LOCATED WITHIN THE DOOR(S) OPENING AND ACCESSIBLE TO TOWN OF PITTSBORO STAFF.
 - 12 INCHES OF HORIZONTAL CLEARANCE MUST BE PROVIDED BETWEEN THE INTERIOR VAULT WALL AND ANY ASSOCIATED FITTINGS OR APPURTENANCES AND 12 INCHES OF HORIZONTAL CLEARANCE BETWEEN ALL INTERNAL BY-PASS ASSEMBLY FITTINGS AND THE METER ASSEMBLY FITTINGS.
 - ROMAC D488 DISMANTLING JOINT OR EQUIVALENT.
 - 24 INCHES FROM METER FLANGE TO TEST PORT CONNECTION.
 - SHOP DRAWINGS FOR PROPOSED VAULT(S), METER, DOOR(S), AND ASSEMBLY MUST BE SUBMITTED TO THE TOWN OF PITTSBORO FOR APPROVAL PRIOR TO CONSTRUCTION.

8" WATER METER AND VAULT
NOT TO SCALE



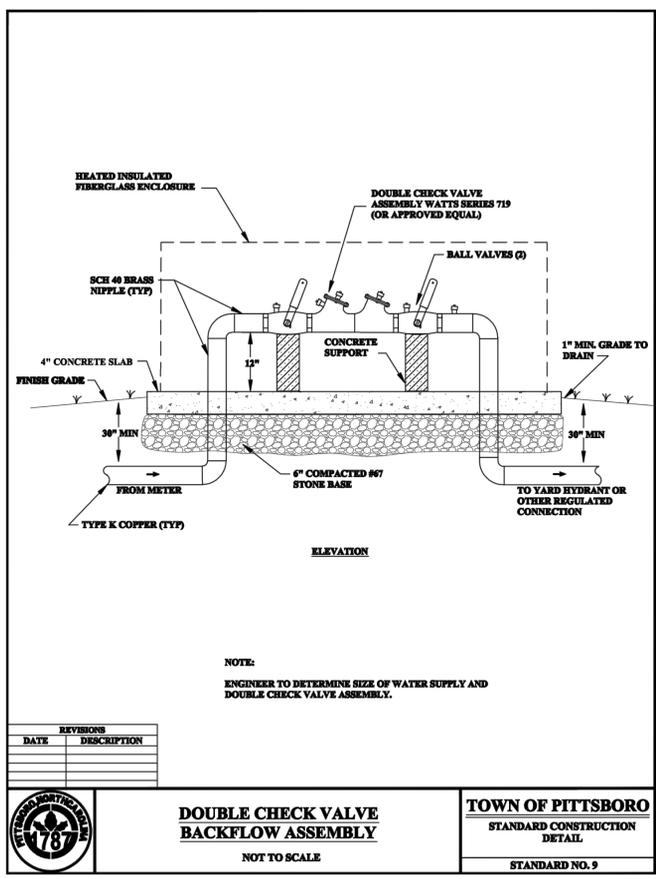
STANDARD FIRE SERVICE INSTALLATION AT BUILDING
NOT TO SCALE



REVISIONS	DATE	DESCRIPTION

TOWN OF PITTSBORO
STANDARD CONSTRUCTION DETAIL
STANDARD NO. 12

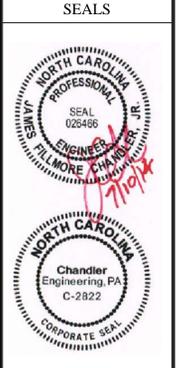
NOT TO SCALE



REVISIONS	DATE	DESCRIPTION

TOWN OF PITTSBORO
STANDARD CONSTRUCTION DETAIL
STANDARD NO. 9

NOT TO SCALE

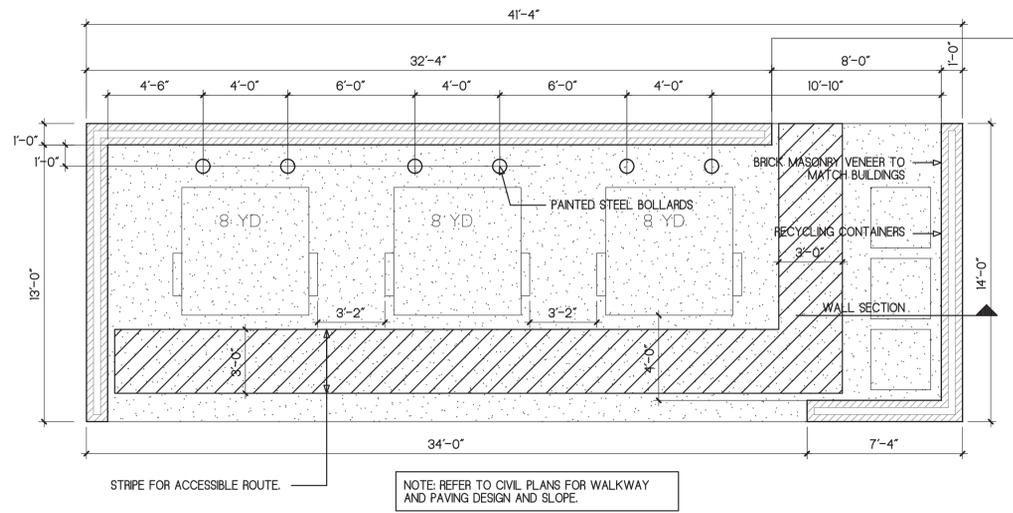


REVISIONS	DATE	COMMENTS

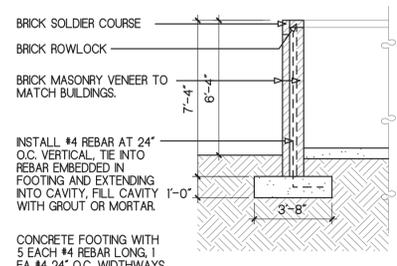
CONSTRUCTION DOCUMENT

Bellemont Pointe Apartments
Town of Pittsboro
Chatham County, North Carolina

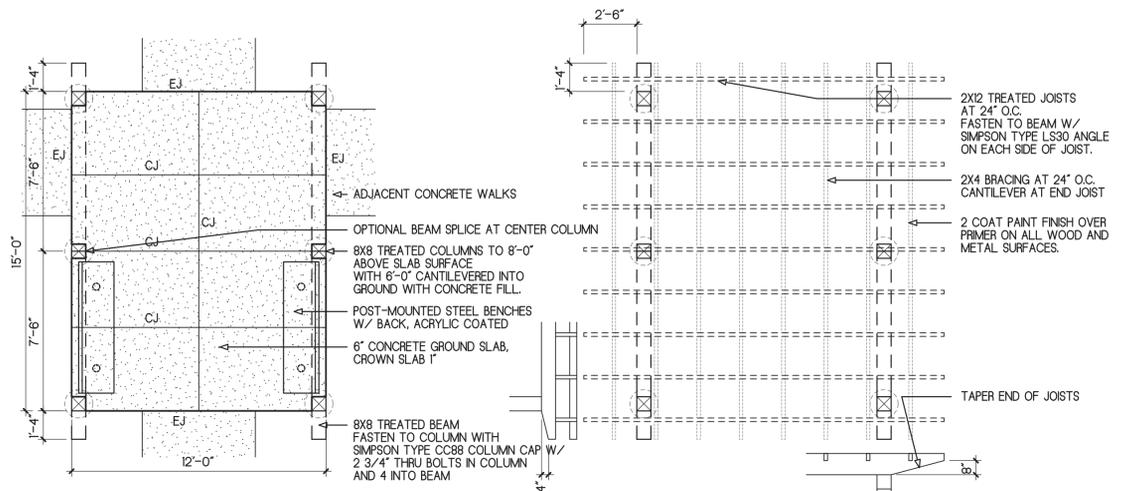
REVIEWED BY:	JFC
DATE:	5/29/14
PROJECT NUMBER:	13-009



01 DUMPSTER PLAN AND SECTION
A1.08 SCALE: 1/4" = 1'-0"

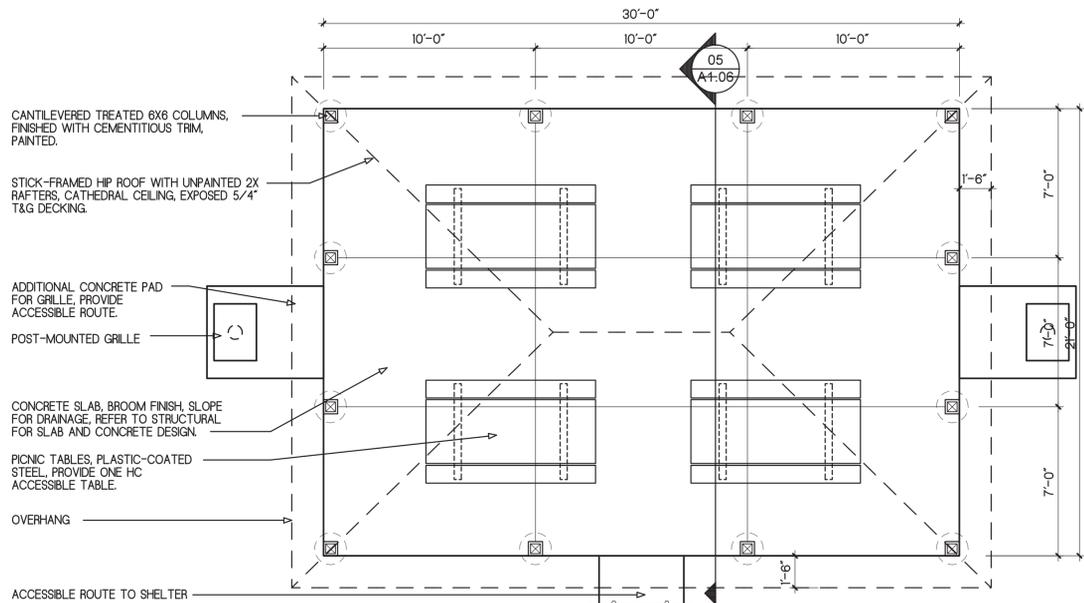


FOUNDATION AND WALL SECTION DESIGNED FOR 130 MPH WIND LOADING CONDITION FOR MAX. 24 FOOT BY 10 FOOT OVERALL DIMENSIONS.

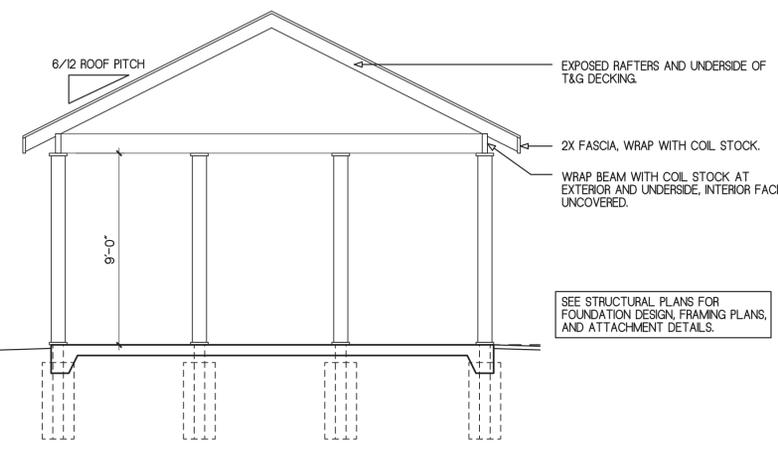


02 TRELLIS LAYOUT PLAN
A1.08 SCALE: 1/4" = 1'-0"

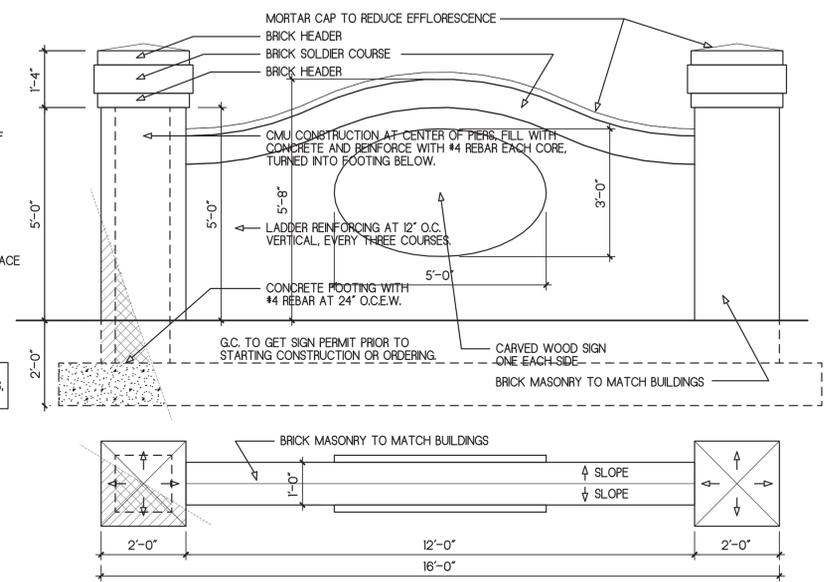
03 TRELLIS OVERHEAD PLAN
A1.08 SCALE: 1/4" = 1'-0"



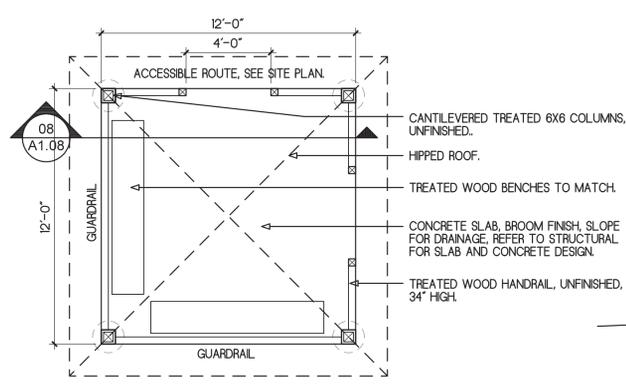
04 COVERED PICNIC SHELTER
A1.08 SCALE: 1/4" = 1'-0"



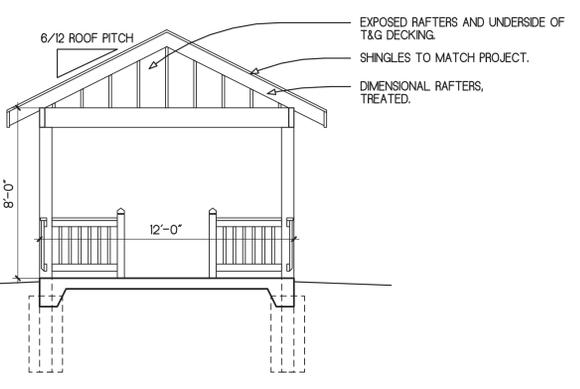
05 COVERED PICNIC SHELTER
A1.08 SCALE: 1/4" = 1'-0"



06 ENTRY SIGNAGE
A1.08 SCALE: 1/2" = 1'-0"



07 GAZEBO
A1.08 SCALE: 1/4" = 1'-0"



08 GAZEBO SECTION
A1.08 SCALE: 1/4" = 1'-0"

Jones Architecture, PLLC
2005 Peacham Circle
Raleigh, NC 27607
Tel (919) 510-8186



BELMONT POINTE APARTMENTS
CHATHAM COUNTY
PITTSBORO, NC
76 RESIDENTIAL UNITS

THESE DRAWINGS ARE THE PROPERTY OF JONES ARCHITECTURE, PLLC AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

COPYRIGHT BY JONES ARCHITECTURE, PLLC ALL RIGHTS RESERVED.

JA JOB# 1103
DATE: 03-21-2014

REV:
REV:
REV:

ACCESSORY PLANS

A1.08