

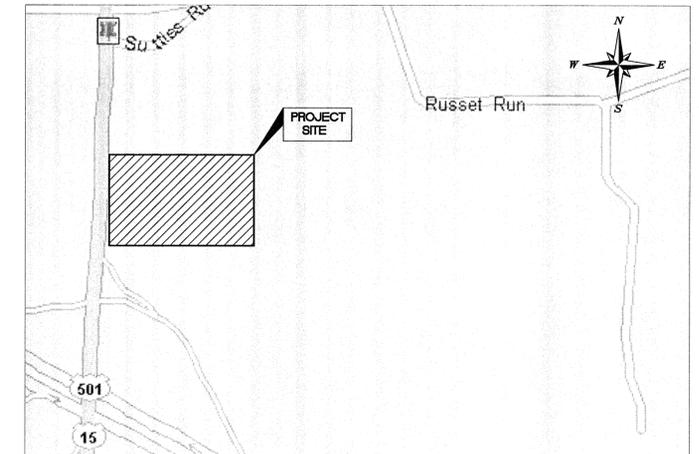
PROJECT LOCATION (NTS)

CONSTRUCTION PLANS SUBMITTAL FOR CHATHAM MEDICAL OFFICE BUILDING PHASE 2

SUTTLES ROAD
PITTSBORO, NC

A DEVELOPMENT BY: CHATHAM PARK INVESTORS LLC

100 WESTON ESTATES WAY
CARY, NC 27513
PH: (919) 481-3000



VICINITY MAP

1"=500'

CONTACTS

OWNER: CHATHAM PARK INVESTORS LLC
100 WESTON ESTATES WAY
CARY, NC 27513
PHONE: (919) 481-3000
ATTN.: VANESSA JENKINS

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 653-2976
ATTN.: RICHARD BROWN, PLA
Richard.Brown@kimley-horn.com

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
333 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27601
(919) 677-2127
ATTN.: BRIAN O'KANE, PE
brian.okane@kimley-horn.com

SURVEYOR: WHITHERS & RAVENEL
115 MACKENAN DRIVE
CARY, NC 27511
PHONE: (919) 469-3340

PROJECT DATA



TOWN OF PITTSBORO
SITE PLAN APPLICATION

P.O. Box 759-635 East Street
Pittsboro, NC 27312

Telephone (919) 542-4621
Fax (919) 542-7109

Site Plan - _____

A site plan is a plan required to be submitted prior to development that assures the proposed development complies with the standards in the zoning and subdivision ordinances (such as residential density, lot area and configuration, building size, mass, and design, and other site features like parking or landscaping), and other applicable requirements in the code of ordinance. All development plans must be prepared, sealed, and signed by a professional engineer or licensed 3(b) land surveyor.

I, (We) the undersigned, do hereby respectfully make application for a Site Plan of the Town of Pittsboro, and in support of this application, the following facts are shown:

(1) Applicant Information:

Name: Chatham Park Investors, LLC
Address: 100 Weston Estates Way
Cary, NC 27513
Phone No: (h) NA
(w) (919) 481-3000
(m) NA
Email: info@prestondev.com

(2) Landowner Information (as shown on deed)

Name: Chatham Park Investors, LLC
Address: PO BOX 3557
Cary, NC 27519
Phone No: (h) NA
(w) (919) 481-3000
(m) NA
Email: info@prestondev.com

(3) Property Identification:

911 Address: 291 Suttles
S.R. Name: Suttles Road
S.R. Number: 1809
Acreage: 32.49
Flood map #: 3710975200J
Flood Zone: No
Map Date (2-07-2007)

Tax Map #: 60745 (AKPAR)
Parcel#: 9752-08-9484
Deed Book: 1567 Page: 0800 Yr: 2011
Plat Book: 2012 Page: 0189
Current Zoning District: PDD
Watershed District: WS-IV NSW

911 Address: 291 Suttles Rd Tax Map #: 7101 (AKPAR)
Parcel#: 9752-27-6874
S.R. Name: Suttles Road Deed Book: 1567 Page: 0800 Yr: 2012
S.R. Number: 1809 Plat Book: 2012 Page: 0189
Acreage: 149.17 Current Zoning District: PDD
Flood map #: 3710975200J Watershed District: WS-IV NSW
Flood Zone: No
Map Date (2-07-2007)

***Total site plan project area - 1.74 Acres
Application submitted subject to approval of zoning case REZ-2013-02

I hereby certify that I am the owner or authorized agent of said property and that the information provided is complete and the statements given are true to the best of my knowledge.

Tim Smith Signature Date Jan 19, 2015

The owner must sign the following if someone other than the owner is making the application.

I hereby certify that Tim Smith is an authorized agent for said property and is permitted by me to file this application.

Tim Smith Signature Date Jan 19, 2015

Form revised 04/05/13

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REVISIONS

| NO. | DATE | DESCRIPTION | BY |
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DRAWING:
DATE:
JUNE 3, 2015



SEAL:
JOB NUMBER:
012325031

PREPARED IN THE OFFICE OF:

Kimley»Horn

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NC CERTIFICATE OF AUTHORIZATION: F-0102

Plotted By: Wayland, Derek
 Sheet: Sat: Chatham Medical Office Building 2 - Layout: C-001 LEGEND AND GENERAL NOTES - June 03, 2015, 11:28:55am
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EXISTING LEGEND

LEGEND:

| | |
|--|-----|
| CATCH BASIN | |
| EXISTING IRON PIPE | EIP |
| WATER METER | |
| EDGE OF PAVEMENT | EOP |
| CURB & GUTTER | CG |
| CATCH BASIN | CB |
| SEWER MANHOLE | |
| WATER MANHOLE | |
| UTILITY POLE | |
| TREE | |
| LEFT TURN ARROW | |
| LINETYPE LEGEND: | |
| ADJOINER | |
| BOUNDARY | |
| EASEMENT | |
| STORM DRAINAGE | |
| SANITARY SEWER | |
| CURB AND GUTTER | |
| TREELINE | |
| OVERHEAD ELECTRIC | |
| FENCE | |
| PAVEMENT MARKING (BROKEN WHITE STRIPE) | |
| PAVEMENT MARKING (SOLID YELLOW STRIPE) | |

PROPOSED LEGEND

| | |
|--|---------|
| LIGHT POLE | |
| COMMUNICATIONS BOX | |
| FIRE HYDRANT | |
| GATE VALVE | |
| CATCH BASIN | |
| SEWER MANHOLE | |
| TREE | |
| SIGN | |
| PROPERTY/ROW | |
| SETBACK | |
| EASEMENT | |
| CENTERLINE | |
| MONUMENT | |
| IRON PIPE/ROD | |
| EDGE PAVEMENT | |
| CURBLINE | |
| SPILL CURB | |
| CONTOURS (MAJOR) | 445 |
| CONTOURS (MINOR) | 442 |
| OVERHEAD POWER | OP |
| FIBER OPTIC | FO |
| GAS | G |
| WATER | W |
| SANITARY SEWER | SS |
| STORM DRAIN | |
| UNDERGROUND ELEC | E |
| UNDERGROUND TEL | T |
| INLET PROTECTION | |
| RETAINING WALL | |
| SILT FENCE | SF |
| TREE PROTECTION FENCE | TPF |
| BENCHMARK | |
| UTILITIES AND FENCE TO BE REMOVED | |
| POLE, TREE OR SIGN TO BE REMOVED | X |
| PAVEMENT & CURB AND GUTTER BE REMOVED | |
| PAVEMENT & CURB AND GUTTER BE REMOVED | |
| PAVEMENT & CURB AND GUTTER BE REMOVED | |
| CONSTRUCTION ENTRANCE | |
| PAVEMENT MARKING DIRECTIONAL ARROWS | |
| PROPOSED CONCRETE | |
| TYPICAL FOR SIMILAR AREAS | (TYP) |
| PROPOSED HANDICAPPED PARKING PAVEMENT MARKINGS & SIGNAGE | |
| IPF | |
| PROPOSED SPOT ELEVATIONS | +100.00 |
| FIRELANE | |
| DIVERSION DITCH | |

GENERAL NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS AND BOLLARDS IN BUILDING SIDEWALKS.
- ACCESSIBLE SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED ABOVE THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY.
- REFER TO DETAIL SITE SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE CURB & GUTTER AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY, TREE, AND ROAD INFORMATION TAKEN FROM FIELD SURVEYS BY WITHERS & RAVENEL, PROFESSIONAL LAND SURVEYORS DATED FEBRUARY 15, 2013.
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE NORTH CAROLINA DEPT. OF TRANSPORTATION (NCDOT).
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS NECESSARY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT NCDOT AND TOWN OF PITTSBORO STANDARD SPECIFICATIONS AND DETAILS.
- ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.
- VERTICAL DATUM FOR SURVEY IS NAVD 88.

TREE PROTECTION NOTES:

- THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
- WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

TRAFFIC CONTROL:

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

DEMOLITION NOTES:

- CONTRACTOR SHALL COORDINATE WITH THE TOWN OF PITTSBORO TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.
- SAW CUT AND REMOVE CONCRETE CURB TO LIMITS REQUIRED FOR NEW WORK.
- REMOVE VEGETATION AND GRASS IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.
- SAW CUT AND REMOVE ASPHALT PAVEMENT TO LIMITS INDICATED ON PLAN.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE FACILITIES WITHIN THE PROJECT SITE TO INCLUDE BUILDINGS, CONCRETE STRUCTURES (ABOVE GROUND AND FOUNDATION), SITE LIGHTING STRUCTURES, PAVEMENTS, AND SECONDARY UTILITIES. ALL MATERIALS SHALL BE PROPERLY DISPOSED OF OFF-SITE PER STATE REGULATIONS.
- ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS THAT SERVE ACTIVITIES OTHER THAN THE PROJECT SITE SHALL BE PROPERLY PRESERVED AND PROTECTED.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY UNFORESEEN OR ADVERSE CONDITIONS, INCLUDING UNCHARTED UTILITIES, DISCOVERED DURING DEMOLITION OPERATIONS.

BACKFLOW PREVENTION NOTES:

- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.
- EACH BACKFLOW PREVENTER ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.

GRADING:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF PITTSBORO AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL INSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS SUBJECT TO A FINE.
- TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY WITHERS & RAVENEL, PROFESSIONAL LAND SURVEYORS DATED FEBRUARY 15, 2013.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
- CONTRACTOR SHALL GRASS DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
- ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE LIP FOR CATCH BASINS.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 98 PERCENT OF ASTM D-698 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FILL SHALL BE PLACED AND COMPACTED IN MAXIMUM 8" LIFTS. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION, THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY CLAY OR CLAYEY SAND (P.I. BETWEEN 4 AND 15) AS NEEDED TO PROVIDE A SMOOTH SURFACE FOR PAVING.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
- THE LOCATIONS OF STORM SEWER STRUCTURES SHOWN ON THESE PLANS (AND PROVIDED IN ASSOCIATED CADD FILES) ARE APPROXIMATE. THE CONTRACTOR SHALL STAKE ALL CURB INLET STRUCTURES SUCH THAT INLET TOPS ALIGN HORIZONTALLY WITH PROPOSED FINISHED GRADE (PER DETAIL, IF PROVIDED). WHERE PROPOSED STORM SEWERS TIE TO EXISTING STRUCTURES, PIPES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.

SOLID WASTE:

- CAPACITY AND COLLECTION FREQUENCY SHALL PREVENT THE ILLEGAL PLACEMENT OF GARBAGE AND RECYCLABLES.

TOWN OF PITTSBORO STANDARD UTILITY NOTES:

- OWNER / CONTRACTOR SHALL NOTIFY TOWN OF PITTSBORO AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION WORK. ONCE WORK HAS BEGUN, AT LEAST 48 HOURS NOTICE SHALL BE GIVEN PRIOR TO ANY SORT OF DISRUPTION TO THE TOWN'S SERVICES SUCH AS TAPPING WATER MAIN, OPERATING VALVES, CLOSING STREETS, PLUGGING SEWER, ETC.
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN AND RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSING. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE TOWN OF PITTSBORO PUBLIC UTILITIES DEPARTMENT.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 48 HOUR ADVANCE NOTICE TO THE TOWN OF PITTSBORO PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE, AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND, &/OR FLOODPLAIN IMPACTS (RESPECTIVELY).

TOWN OF PITTSBORO UTILITY NOTIFICATION NOTE:

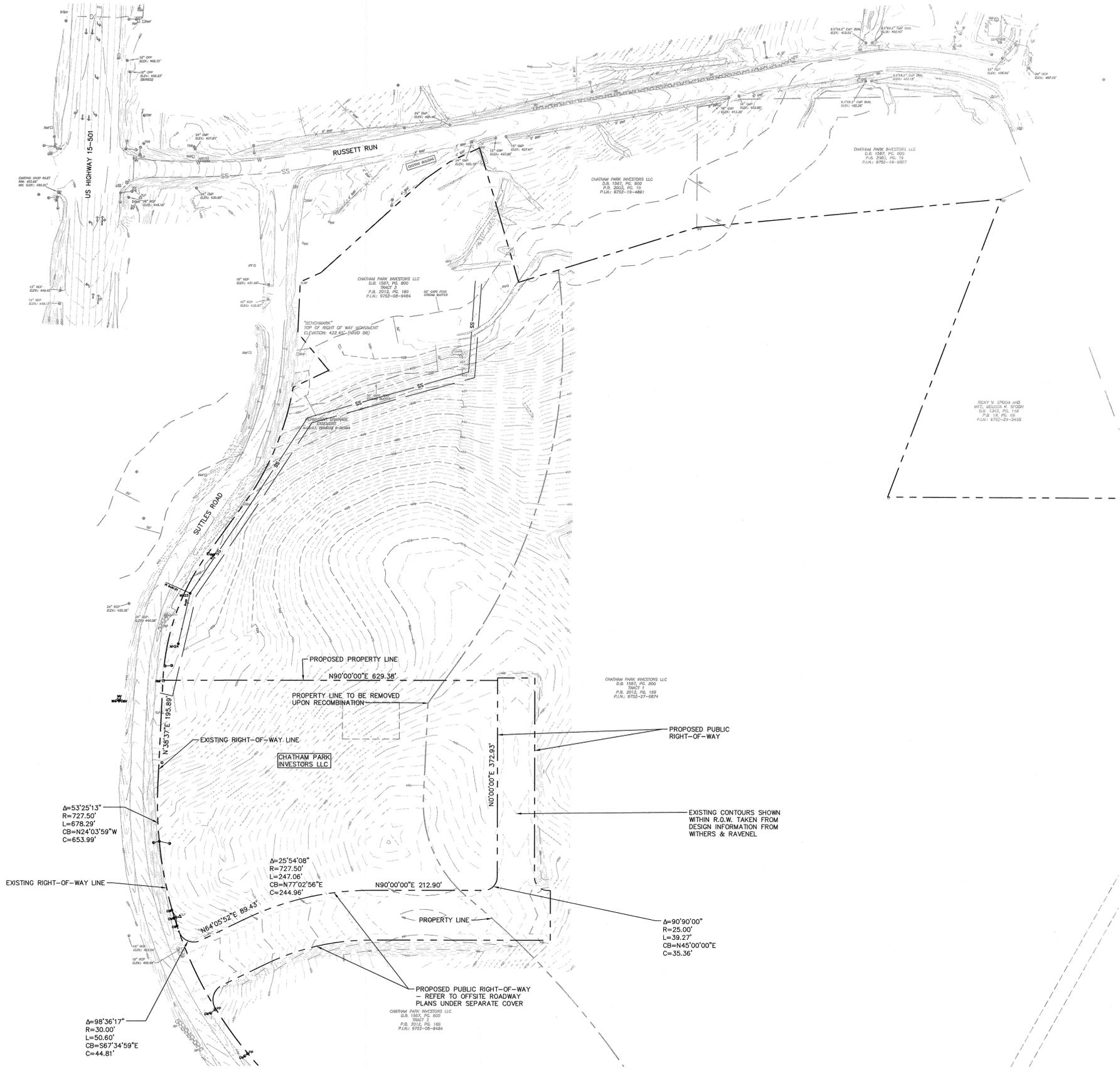
- THE OWNER/CONTRACTOR SHALL NOTIFY THE TOWN OF PITTSBORO AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION WORK. ONCE WORK HAS BEGUN, AT LEAST 48 HOURS NOTICE SHALL BE GIVEN PRIOR TO ANY SORT OF DISRUPTION TO THE TOWN'S SERVICES SUCH AS TAPPING WATER MAINS, OPERATING VALVES, CLOSING STREETS, PLUGGING SEWERS, ETC.
- NOTIFICATION MUST BE PROVIDED BY DIRECT COMMUNICATION. VOICE MAIL OR EMAIL WILL NOT BE CONSIDERED PROPER NOTIFICATION UNLESS ADEQUATELY RESPONDED TO BY A TOWN OF PITTSBORO REPRESENTATIVE.
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL CUSTOMERS AFFECTED BY SERVICES INTERRUPTIONS. THE TOWN OF PITTSBORO WILL NOT APPROVE SERVICE INTERRUPTIONS UNTIL PROOF THAT PROPER CUSTOMER NOTIFICATION HAS BEEN PROVIDED.
- EXISTING VALVES SHALL BE OPERATED ONLY WITH A REPRESENTATIVE OF THE TOWN OF PITTSBORO PRESENT.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:
 ALL EXISTING SITE AND TOPOGRAPHIC INFORMATION SHOWN BASED ON AN ALTA/ACSM LAND TITLE SURVEY DATED FEBRUARY 15, 2013, PROVIDED BY WITHERS & RAVENEL, 115 MACKENAN DR, CARY NC 27511. PHONE 919-469-3340

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|-----|-----------|------|----|---|---|---|--|---------------------------------|------------------------------|
| No. | REVISIONS | DATE | BY | <p>© 2010 KIMLEY-HORN AND ASSOCIATES, INC. 333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-835-1494 WWW.KIMLEY-HORN.COM</p> | KHA PROJECT 012325031 DATE 03/13/2015 SCALE AS SHOWN DESIGNED BY BTO DRAWN BY KJF CHECKED BY WJB | CHATHAM MEDICAL OFFICE BUILDING 2 PREPARED FOR CHATHAM PARK INVESTORS LLC PITTSBORO | | LEGEND AND GENERAL NOTES | SHEET NUMBER C-001 |
| | | | | | PITTBSBORO | NC | | | |

Plotted By: Wayland, Derek
 Sheet Set: Chatham Medical Office Building 2 - Layout: C-100 - EXISTING CONDITIONS - June 03, 2015 11:29:16am
 K:\NVT-LDEVA\012325031-chatham_mob_2\planning_phase\15_cool_files\plansheets\C-100_EXISTING_CONDITIONS.dwg
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EXISTING LEGEND

LEGEND:

| | |
|--------------------|-------|
| CATCH BASIN | CB |
| EXISTING IRON PIPE | EIP |
| WATER METER | WM |
| EDGE OF PAVEMENT | EOP |
| CURB & GUTTER | CG |
| CATCH BASIN | CB |
| SEWER MANHOLE | SM |
| WATER MANHOLE | WM |
| UTILITY POLE | UP |
| TREE | T1928 |
| LEFT TURN ARROW | |
| BENCHMARK | |

LINETYPE LEGEND:

| | |
|-------------------|--|
| ADJOINER | |
| BOUNDARY | |
| EASEMENT | |
| STORM DRAINAGE | |
| SANITARY SEWER | |
| CURB AND GUTTER | |
| OVERHEAD ELECTRIC | |

- NOTES:
1. AREAS COMPUTED BY COORDINATE METHOD.
 2. BASIS OF BEARING NC GRID NAD 83 (2007).
 3. THIS PROPERTY IS NOT LOCATED IN A FLOOD AREA PER FIRM COMMUNITY PANEL NUMBER MAP #3720074700J, PANEL 0747J, AS LAST PUBLISHED AND REVISED 05/02/2006.
 4. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
 6. A PORTION OF DURHAM COUNTY PARCEL NUMBERS (PIN) #9752-08-9484
 7. VERTICAL DATUM IS NAVD 88.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:
 ALL EXISTING SITE AND TOPOGRAPHIC INFORMATION SHOWN BASED ON AN ALTA/ACSM LAND TITLE SURVEY DATED FEBRUARY 15, 2013, PROVIDED BY WHITHERS & RAVENEL, 115 MACKENAN DR, CARY NC 27511. PHONE 919-469-3340

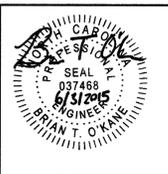


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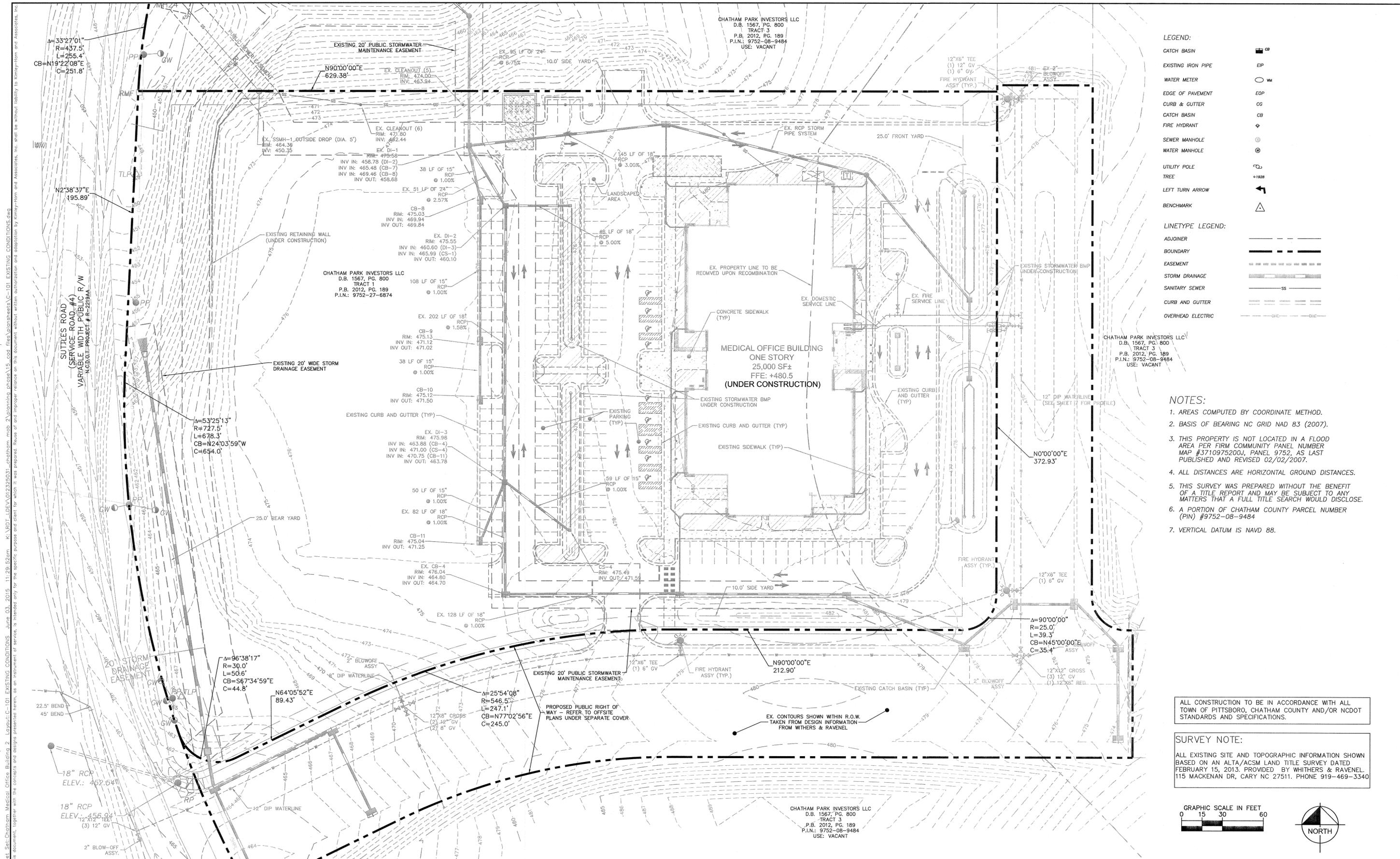
| | |
|-------------|------------|
| KHA PROJECT | 012325031 |
| DATE | 03/13/2015 |
| SCALE | AS SHOWN |
| DESIGNED BY | BTO |
| DRAWN BY | KJF |
| CHECKED BY | WJB |

CHATHAM MEDICAL OFFICE BUILDING 2
 PREPARED FOR
CHATHAM PARK INVESTORS LLC
 PITTSBORO NC



EXISTING CONDITONS

SHEET NUMBER
C-100

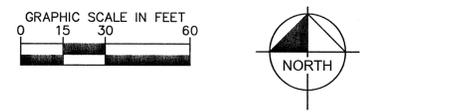


- LEGEND:**
- CATCH BASIN
 - EXISTING IRON PIPE
 - WATER METER
 - EDGE OF PAVEMENT
 - CURB & GUTTER
 - CATCH BASIN
 - FIRE HYDRANT
 - SEWER MANHOLE
 - WATER MANHOLE
 - UTILITY POLE
 - TREE
 - LEFT TURN ARROW
 - BENCHMARK
- LINETYPE LEGEND:**
- ADJOINER
 - BOUNDARY
 - EASEMENT
 - STORM DRAINAGE
 - SANITARY SEWER
 - CURB AND GUTTER
 - OVERHEAD ELECTRIC

- NOTES:**
- AREAS COMPUTED BY COORDINATE METHOD.
 - BASIS OF BEARING NC GRID NAD 83 (2007).
 - THIS PROPERTY IS NOT LOCATED IN A FLOOD AREA PER FIRM COMMUNITY PANEL NUMBER MAP #3710975200J, PANEL 9752, AS LAST PUBLISHED AND REVISED 02/02/2007.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
 - A PORTION OF CHATHAM COUNTY PARCEL NUMBER (PIN) #9752-08-9484
 - VERTICAL DATUM IS NAVD 88.

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Printed By: Wayland, Derek
 Sheet Set: Chatham Medical Office Building 2 - Layout: C-101 EXISTING CONDITIONS - June 03, 2015 11:29:52am - K:\RD\IDEV\012325031_chatham mob 2\planning phase\15_cad files\plansheets\C-101 EXISTING CONDITIONS.dwg
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| KHA PROJECT | 012325031 |
| DATE | 03/13/2015 |
| SCALE | AS SHOWN |
| DESIGNED BY | BTO |
| DRAWN BY | KJF |
| CHECKED BY | WJB |

CHATHAM MEDICAL OFFICE BUILDING 2
 PREPARED FOR
CHATHAM PARK INVESTORS LLC

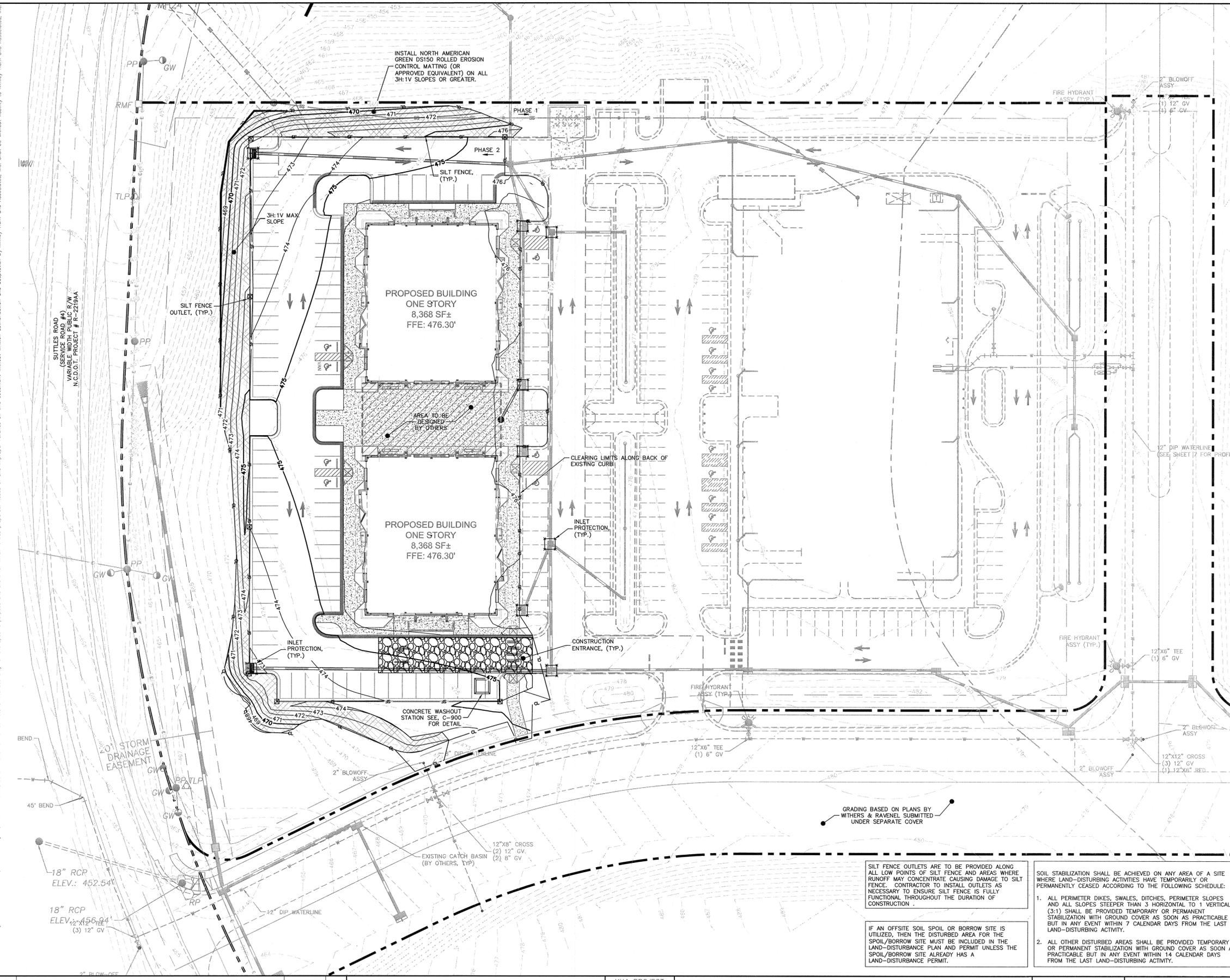


EXISTING CONDITIONS

SHEET NUMBER
C-101

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
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Plotter: By: Wayland, Derek
 Sheet: Sst:Chatham Medical Office Building 2 - Layout: C-200 EROSION CONTROL PLAN - June 03, 2015 - 11:30:48am
 K:\V\DT\DEVA\2225031 - bottom.mcb 2\Planning phase\15-cad files\chamshs\c-200 EROSION CONTROL PLAN.dwg
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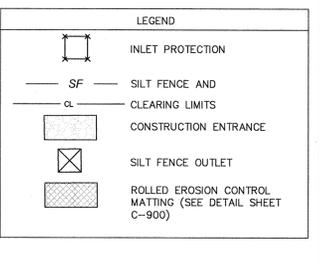


- MAINTENANCE NOTES:**
- IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:
- CONSTRUCTION ENTRANCE:**
- INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.
- SILT FENCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- SILT FENCE GRAVEL OUTLET:**
- INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOADED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
- OUTLET STABILIZATION STRUCTURE:**
- INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOADED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.
- BLOCK AND GRAVEL INLET PROTECTION:**
- INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.
- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
- REFER TO EXISTING CONDITIONS PLAN.
 - EXCAVATION AND EARTH MOVING OPERATIONS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE OWNERS GEOTECHNICAL ENGINEER.
 - ALL CONSTRUCTION SHALL COMPLY WITH NCDNR STANDARDS AND SPECIFICATIONS.
 - FOOTING EXCAVATION SHALL BE CONTINUOUSLY DEWATERED TO PREVENT SETTLEMENT AND SEDIMENT DEPOSITION. ENSURE THAT THE BUILDING PAD IS CONSTRUCTED WITH SUITABLE MATERIAL AS PER THE GEOTECHNICAL ENGINEERS DIRECTION.
 - VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND FROM A SURVEY OF ABOVE GROUND FEATURES. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE ACCURACY OF THE INFORMATION. ALL EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND VERIFIED PRIOR TO COMMENCING ACTIVITY ON SITE.
 - STABILIZE DISTURBED AREAS WITH TEMPORARY VEGETATION. DENUDED AREAS MUST BE SEEDED WITH FOURTEEN (14) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
 - ALL ADJACENT ROADS TO THE SITE ARE TO BE SWEEP AND WASHED AT THE END OF EACH WORK DAY TO ENSURE NO SEDIMENT COLLECTS ON THE ROADWAYS.
 - INSPECT AND PROPERLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER EVERY RAINFALL EVENT.
 - INSTALL ANY ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT RUNOFF.
 - BEGIN INSTALLATION OF UTILITIES, INCLUDING STORMWATER PIPING, WATER, SEWER, AND OTHER UTILITY LINES. INSTALL INLET PROTECTION ON STORM SEWER.
 - COMPLETE UTILITY INSTALLATION AND SOILS COMPACTION.
 - INSTALL CURB AND GUTTER AND BASE STONE. PAVE SITE.
 - PLACE TOPSOIL AND PROVIDE PERMANENT SEEDING AS INDICATED IN THE SEEDING SPECIFICATIONS.
 - ONCE ALL AREAS HAVE BEEN STABILIZED, CONTACT OWNER'S ENGINEER AND NCDNR FOR SITE CLOSEOUT INSPECTION.
 - AFTER APPROVAL FROM THE ENGINEER AND NCDNR EROSION CONTROL INSPECTOR, REMOVE ALL REMAINING EROSION CONTROL MEASURES AND STABILIZE ANY REMAINING DISTURBED AREAS. DO NOT REMOVE ANY EROSION CONTROL MEASURES WITHOUT APPROVAL OF THE ENGINEER AND INSPECTOR.

MAXIMUM DRAINAGE AREA TO SEDIMENT BASIN = 10.66 AC

TOTAL DISTURBED AREA: 1.80 ACRES

NOTE:
 REFER TO NCDNR PERMIT # CHATH-2015-001 FOR EXISTING APPROVAL OF LAND DISTURBANCE UNDER PHASE 1 OF THIS SITE. PHASE 2, THIS PLAN, IS TO USE PREVIOUSLY APPROVED SEDIMENT BASIN FOR DISTURBANCE OF THIS PROJECT. THE PERMITTED 10.66 ACRE BASIN HAS ACCOUNTED FOR THE 1.80 ACRE DISTURBED AREA FROM THIS PROJECT.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:

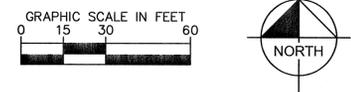
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SILT FENCE OUTLETS ARE TO BE PROVIDED ALONG ALL LOW POINTS OF SILT FENCE AND AREAS WHERE RUNOFF MAY CONCENTRATE CAUSING DAMAGE TO SILT FENCE. CONTRACTOR TO INSTALL OUTLETS AS NECESSARY TO ENSURE SILT FENCE IS FULLY FUNCTIONAL THROUGHOUT THE DURATION OF CONSTRUCTION.

IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.

SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:

- ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.



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KHA PROJECT
012325031
 DATE
03/13/2015
 SCALE AS SHOWN
 DESIGNED BY BTO
 DRAWN BY KJF
 CHECKED BY WJB

**CHATHAM MEDICAL OFFICE
 BUILDING 2**
 PREPARED FOR
CHATHAM PARK INVESTORS LLC

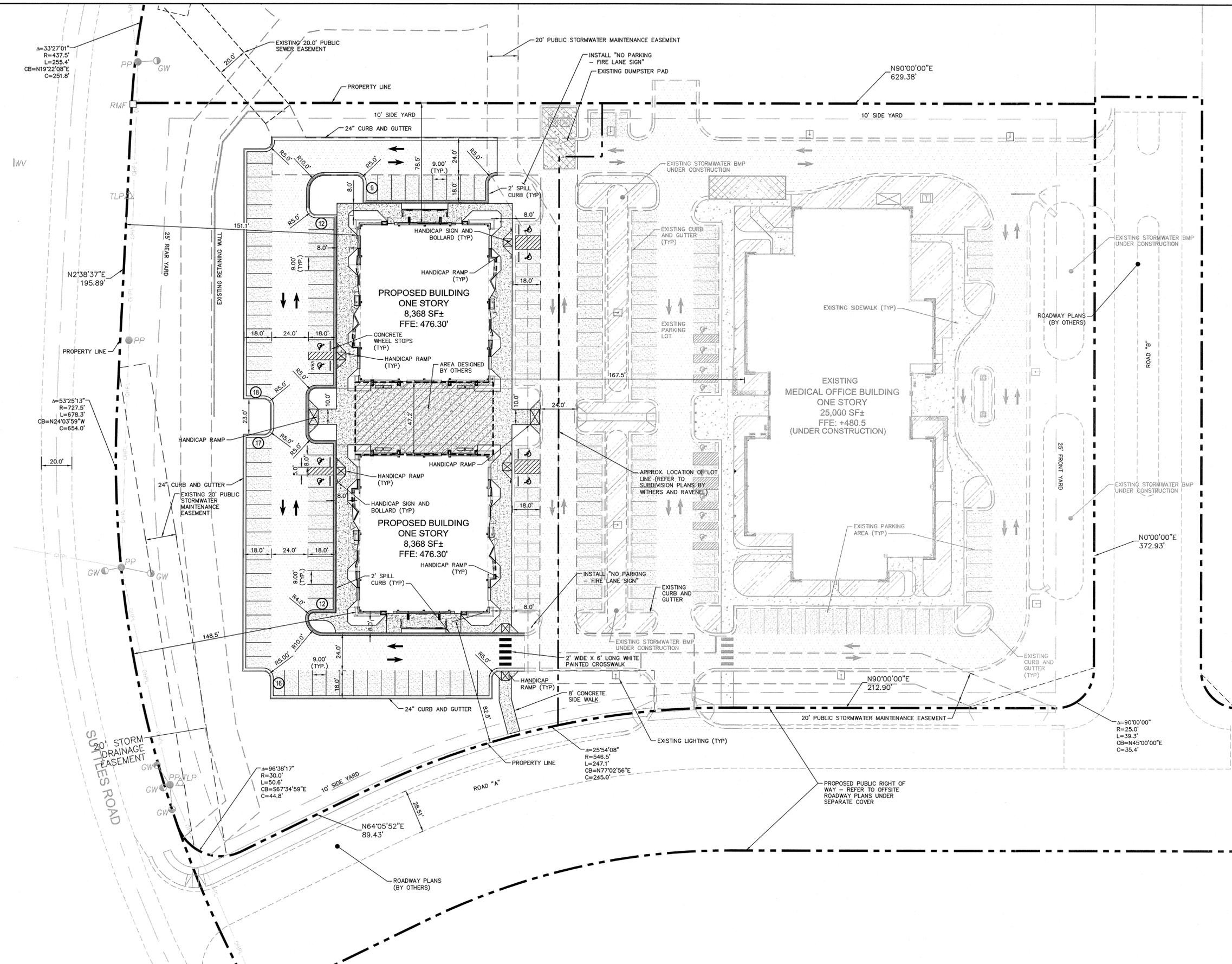


EROSION CONTROL PLAN

SHEET NUMBER
C-200

| No. | REVISIONS | DATE | BY |
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Plotted By: Caps, Rivers
 Sheet Set: Chatham Medical Office Building 2, Layout: C-300 SITE PLAN June 17, 2015 03:17:05pm
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- LEGEND**
- PAINTED TRAFFIC ARROW
 - CONCRETE SIDEWALK
 - HANDICAP SIGN
 - HEAVY DUTY CONCRETE
 - LANDSCAPE AREA
 - PROPOSED PARKING COUNT
 - REGULAR DUTY PAVEMENT
 - HEAVY DUTY PAVEMENT
 - SPILLING CURB AND GUTTER

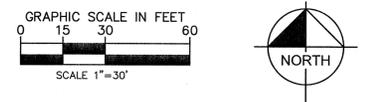
- SITE PLAN NOTES:**
- 1) SIGNAGE IS NOT INCLUDED WITHIN THIS SITE PACKAGE AND MAY BE SUBMITTED AND PERMITTED SEPARATELY UNDER SEPARATE COVER.
 - 2) ROADWAY SIGNAGE INFORMATION IS NOT INCLUDED IN THIS PACKAGE AND IS PROVIDED IN THE OFFSITE ROADWAY PACKAGE (UNDER SEPARATE COVER)
 - 3) FOR PHASE 1 PLANS SEE PLAN SET CHATHAM MEDICAL OFFICE BUILDING DATED JANUARY 28, 2014.
 - 4) APPROVED STORMWATER PERMIT THROUGH TOWN OF PITTSBORO, PERMIT #2014-002. PERMIT INCLUDED IMPERVIOUS AREA FROM THIS DEVELOPMENT.

| SITE DATA | |
|---|--|
| PROPERTY INFORMATION | |
| EXISTING ZONING/PDD | |
| EXISTING USE: VACANT | |
| TOTAL SITE AREA: | 6.0 ACRES(261,000 SF) |
| BUILDING DISTANCE TO EXISTING BUILDING: | FRONT = 167.5' (EAST) |
| PROPERTY LINE: | SIDE = 78.5' (NORTH) |
| | SIDE = 82.5' (SOUTH) |
| | REAR = 151.1' & 148.5' (SUTTLER R.O.W.) |
| | SIDE = 47.2' |
| BETWEEN PROPOSED BUILDINGS: | |
| PROJECT DATA: | |
| PROPOSED USE: | MEDICAL OFFICE BUILDING |
| PROJECT AREA (LIMITS OF WORK): | 1.80 AC |
| PROPOSED # OF BUILDINGS: | 2 (19,800 GSF) |
| BUILDING LOT COVERAGE (PROPOSED): | 7.3% (18,935 SF/261,000 SF) |
| VEHICULAR SURFACE AREA (PROPOSED): | 11.2% (29,201 SF/261,000 SF) |
| PARKING: | STANDARD |
| | REQUIRED 80 SPCS PROVIDED 84 SPCS |
| | 1 SPACE / 250 SF |
| | HANDICAP |
| | 4 SPACES 8 SPACES |
| | (4 NEW ACCESSIBLE SPACES & 4 SPACES IN EXISTING) |
| OPEN SPACE REQUIRED: | 0.837 AC* |
| PROPOSED BUILDING HEIGHT: | 31.7' |
| PROPOSED SITE IMPERVIOUS AREA (NEW): | 22.93% (59,847 SF/261,000 SF) |
| TOTAL IMPERVIOUS (PROPOSED + EXISTING): | 63.01% (164,452 SF/261,000 SF) |
| MAXIMUM SITE IMPERVIOUS: | 70.00% (182,700 SF/261,000 SF) |

* THE OPEN SPACE REQUIREMENT FOR MOB2 WILL BE MET BY THE OPEN SPACE WITHIN CHATHAM PARK.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

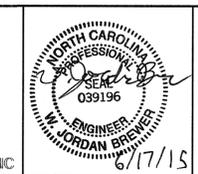
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CHATHAM MEDICAL OFFICE BUILDING 2
 PREPARED FOR
CHATHAM PARK INVESTORS LLC

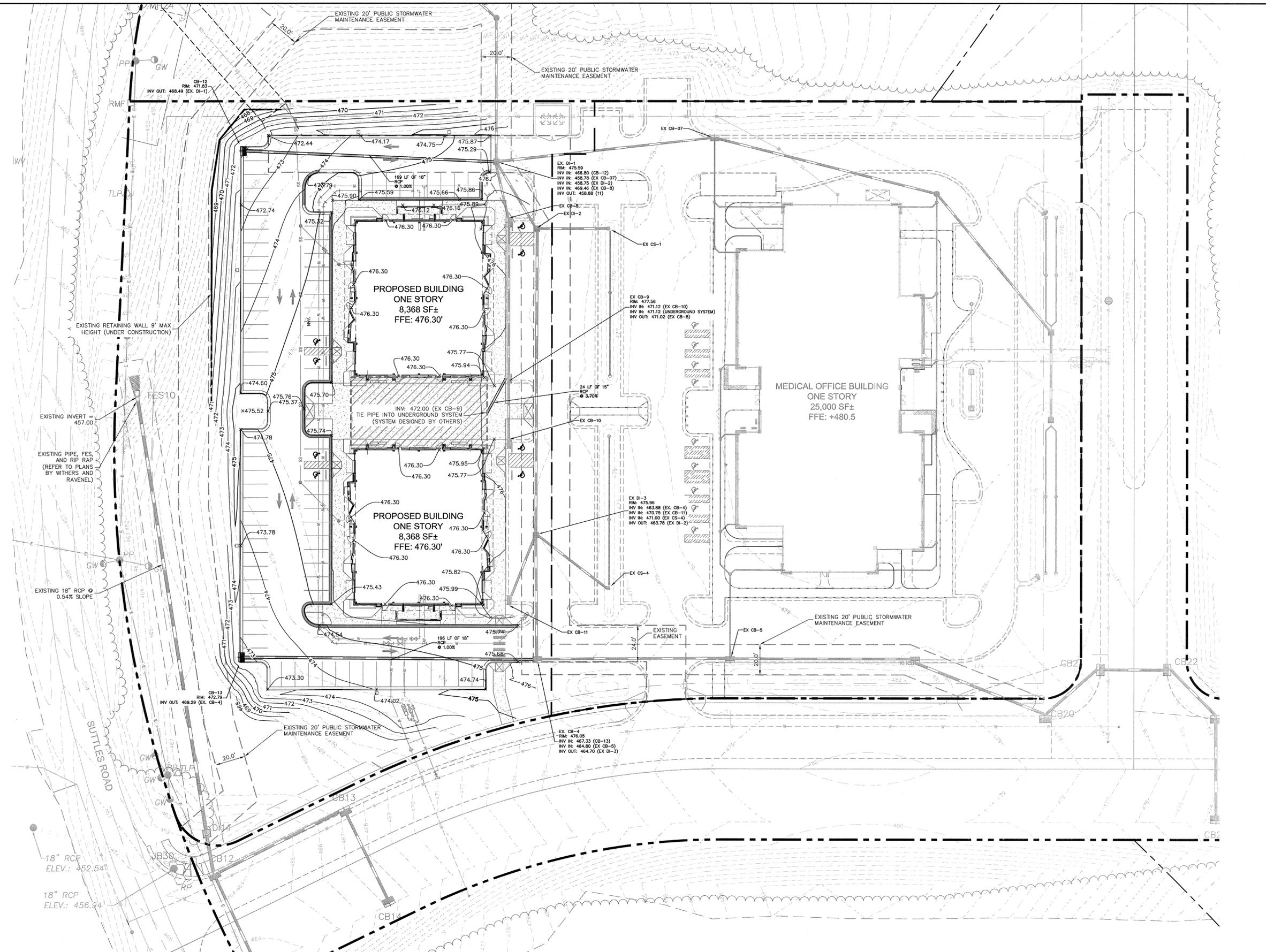


SITE PLAN

SHEET NUMBER
C-300

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
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Plotted By: Cops, Rivers
 Sheet Set: Chatham Medical Office Building 2, Layout: C-400 GRADING AND DRAINAGE PLAN, June 17, 2015, 03:31:40pm, K:\AR\DEV\012325031_chatham_mob_2\planning_phase\15_cad_files\plan_sheets\C-400 GRADING AND DRAINAGE PLAN.dwg
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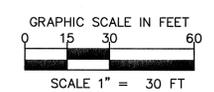
| LEGEND | | |
|--------|---------|-------------------------|
| | 100 | PROPOSED CONTOUR |
| | +100 | EXISTING CONTOUR |
| | + 70.50 | PROPOSED SPOT ELEVATION |
| | | CATCH BASIN |
| | | DROP INLET |
| | | JUNCTION BOX |
| | | RCP PIPE |
| | CS | CONTROL STRUCTURE |
| | CB | CATCH BASIN |
| | HP | HIGH POINT |
| | JB | JUNCTION BOX |
| | LP | LOW POINT |
| | TC | TOP OF CURB |
| | BC | BOTTOM OF CURB |

NOTE: ALL CLEANOUTS SHALL BE INSTALL FLUSH WITH THE FINAL GRADE ELEVATION.

NOTE: AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY CHATHAM COUNTY IS REQUIRED PRIOR TO ANY LAND DISTURBANCE ACTIVITY.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

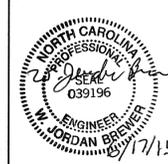
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| DRAWN BY | KJF |
| CHECKED BY | WJB |

CHATHAM MEDICAL OFFICE BUILDING 2
 PREPARED FOR
CHATHAM PARK INVESTORS LLC
 PITTSBORO NC



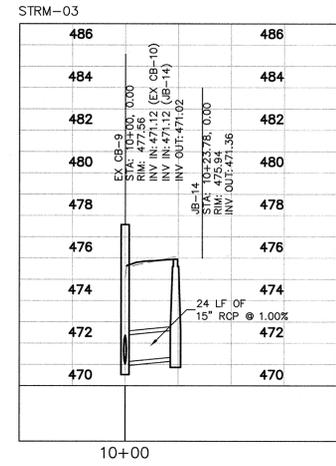
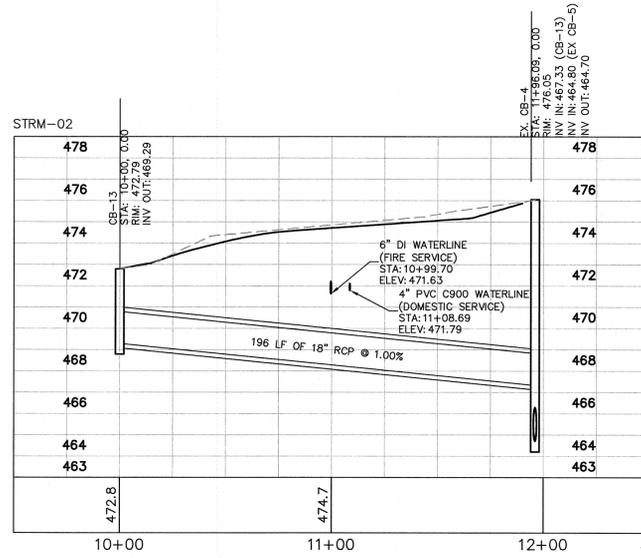
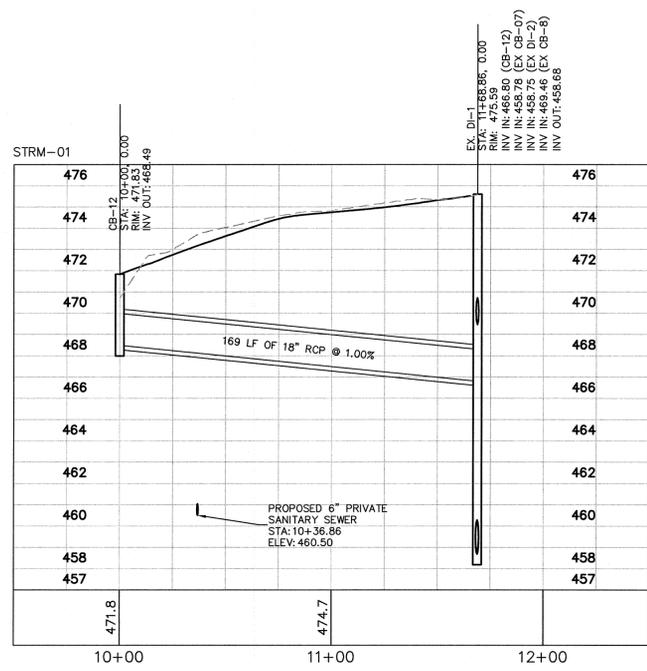
GRADING AND DRAINAGE PLAN

SHEET NUMBER

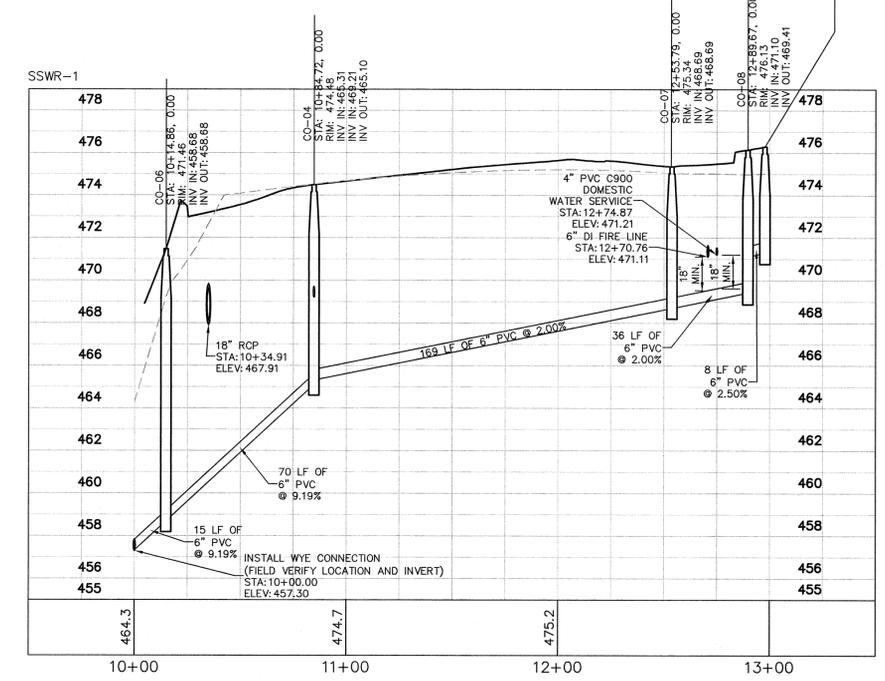
C-400

| No. | REVISIONS | DATE | BY |
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| | | | |

Plotted By: Woyons, Derek
 Sheet: Sht.Chatham Medical Office Building 2 - Layout-C-501 UTILITY PROFILE - June 03, 2015 11:34:06am
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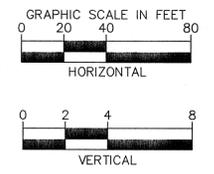
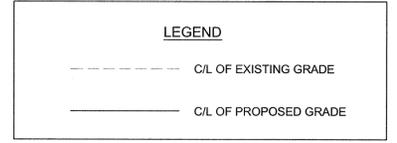
STORM PROFILES



SANITARY SEWER PROFILE

TOWN OF PITTSBORO STANDARD UTILITY NOTES:

- OWNER / CONTRACTOR SHALL NOTIFY TOWN OF PITTSBORO AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION WORK. ONCE WORK HAS BEGUN, AT LEAST 48 HOURS NOTICE SHALL BE GIVEN PRIOR TO ANY SORT OF DISRUPTION TO THE TOWN'S SERVICES SUCH AS TAPPING WATER MAIN, OPERATING VALVES, CLOSING STREETS, PLUGGING SEWER, ETC.
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN AND RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSING. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE TOWN OF PITTSBORO PUBLIC UTILITIES DEPARTMENT.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 48 HOUR ADVANCE NOTICE TO THE TOWN OF PITTSBORO PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE, AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND, &/OR FLOODPLAIN IMPACTS (RESPECTIVELY).



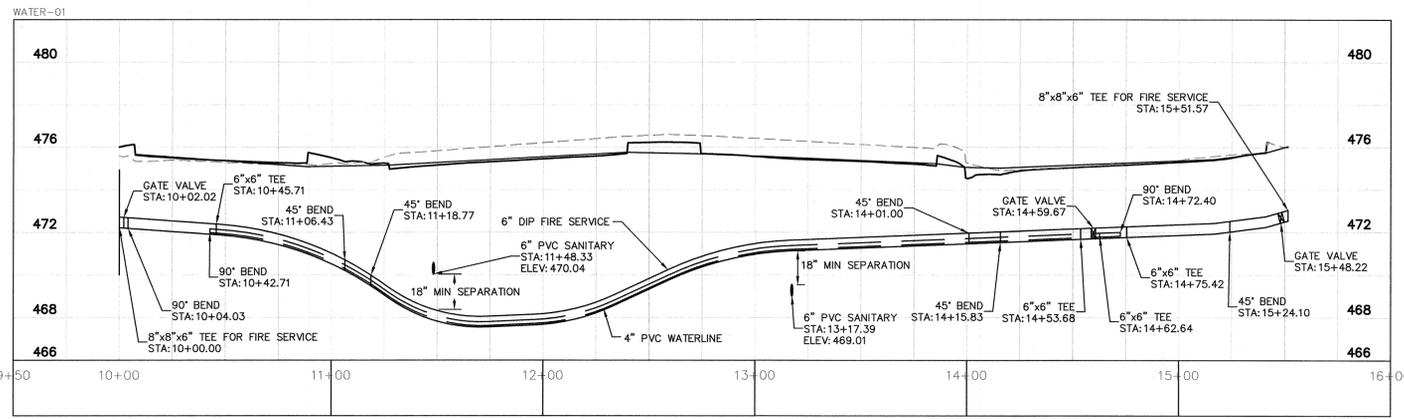
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:

ALL EXISTING SITE AND TOPOGRAPHIC INFORMATION SHOWN BASED ON AN ALTA/ACSM LAND TITLE SURVEY DATED FEBRUARY 15, 2013. PROVIDED BY WHITHERS & RAVENEL 115 MACKENAN DR, CARY NC 27511. PHONE 919-469-3340

TOWN OF PITTSBORO UTILITY NOTIFICATION NOTE:

- THE OWNER/CONTRACTOR SHALL NOTIFY THE TOWN OF PITTSBORO AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION WORK. ONCE WORK HAS BEGUN, AT LEAST 48 HOURS NOTICE SHALL BE GIVEN PRIOR TO ANY SORT OF DISRUPTION TO THE TOWN'S SERVICES SUCH AS TAPPING WATER MAINS, OPERATING VALVES, CLOSING STREETS, PLUGGING SEWERS, ETC.
- NOTIFICATION MUST BE PROVIDED BY DIRECT COMMUNICATION. VOICE MAIL OR EMAIL WILL NOT BE CONSIDERED PROPER NOTIFICATION UNLESS ADEQUATELY RESPONDED TO BY A TOWN OF PITTSBORO REPRESENTATIVE.
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL CUSTOMERS AFFECTED BY SERVICES INTERRUPTIONS. THE TOWN OF PITTSBORO WILL NOT APPROVE SERVICE INTERRUPTIONS UNTIL PROOF THAT PROPER CUSTOMER NOTIFICATION HAS BEEN PROVIDED.
- EXISTING VALVES SHALL BE OPERATED ONLY WITH A REPRESENTATIVE OF THE TOWN OF PITTSBORO PRESENT.



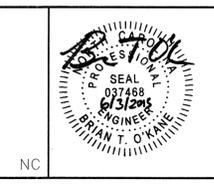
WATERLINE PROFILE

| No. | REVISIONS | DATE | BY |
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 333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

| | |
|-------------|------------|
| KHA PROJECT | 012325031 |
| DATE | 03/13/2015 |
| SCALE | AS SHOWN |
| DESIGNED BY | BTO |
| DRAWN BY | KJF |
| CHECKED BY | WJB |

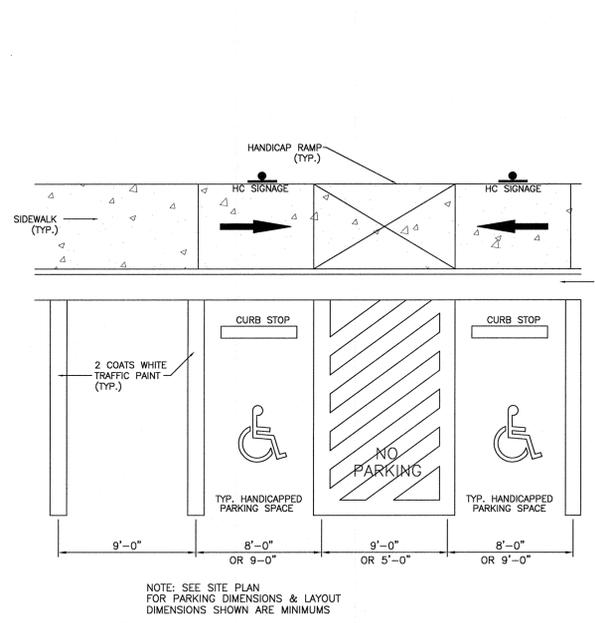
CHATHAM MEDICAL OFFICE BUILDING 2
 PREPARED FOR
CHATHAM PARK INVESTORS LLC



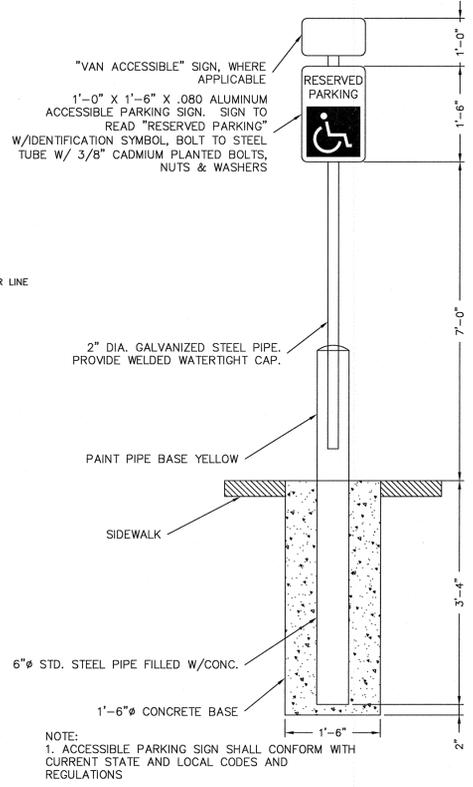
UTILITY PROFILE

SHEET NUMBER
C-501

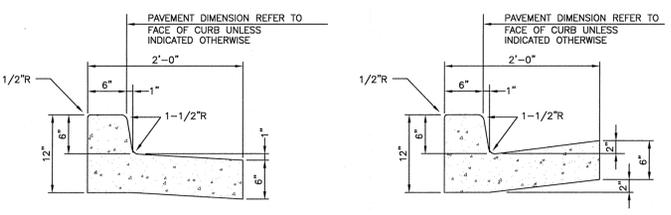
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1 HANDICAPPED PAVEMENT STRIPING DETAIL
C-600 NOT TO SCALE



2 HANDICAPPED SIGN DETAILS
C-600 NOT TO SCALE



A SPILLING CURB AND GUTTER **B CATCHING CURB AND GUTTER**

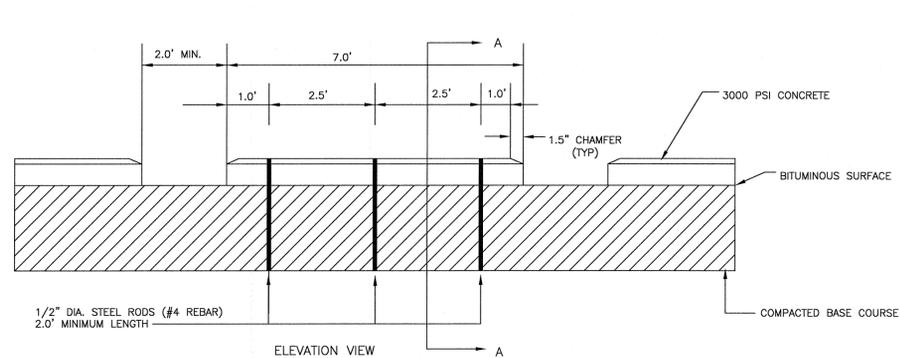
CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.

CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE FACE OF CURB

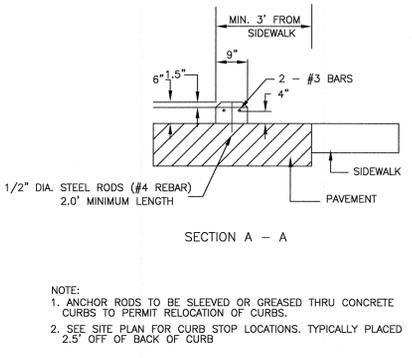
AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

CONTRACTION JOINTS AT 10'-0" O.C. TOOLED 1/4" (±1/16"-D) WIDE, 1" OR MAX. D/4 DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 40' MAX. AND ALL P.C.'s, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

5 TYPICAL CURB AND GUTTER 24"
C-600 NOT TO SCALE

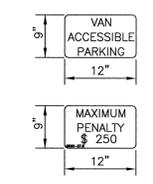
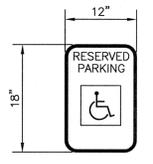


9 WHEEL STOP DETAIL
C-600 NOT TO SCALE

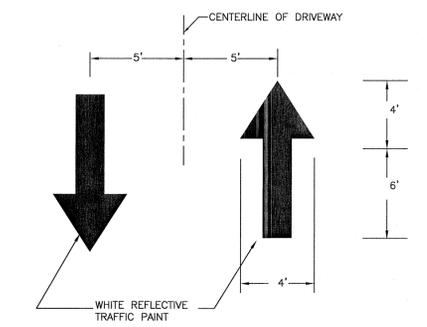


NOTE:
1. ANCHOR RODS TO BE SLEEVED OR GREASED THRU CONCRETE CURBS TO PERMIT RELOCATION OF CURBS.
2. SEE SITE PLAN FOR CURB STOP LOCATIONS. TYPICALLY PLACED 2.5' OFF OF BACK OF CURB

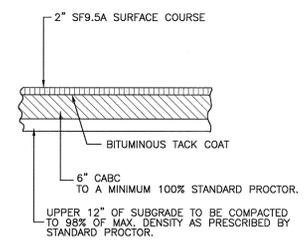
FIGURE - WHITE ON BLUE FIELD CORNER RADIUS - 1 1/2" (TYP.)



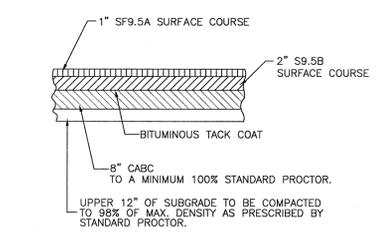
3 DRIVEWAY TRAFFIC FLOW DIRECTIONAL ARROW DETAIL
C-600 NOT TO SCALE



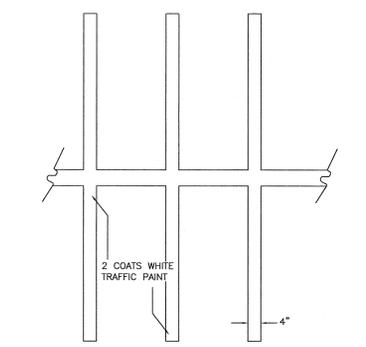
TEMPLATE AVAILABLE FROM MULTISE SIGNS. CONTACT THE OVS CONSTRUCTION PROJECT MANAGER FOR MORE INFORMATION.



6 REGULAR DUTY PAVEMENT SECTION
C-600 NOT TO SCALE

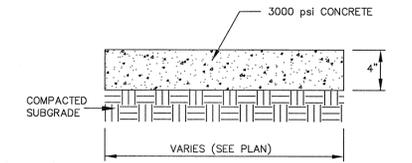


7 TYPICAL HEAVY DUTY PAVEMENT SECTION
C-600 NOT TO SCALE

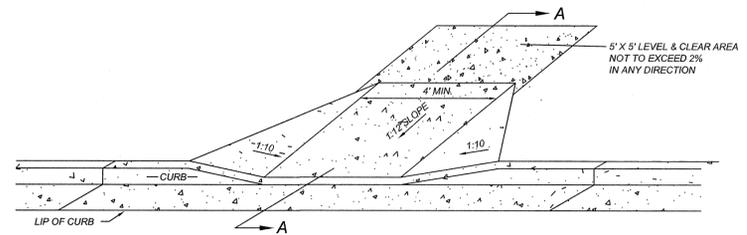


4 PAVEMENT STRIPING DETAIL
C-600 NOT TO SCALE

NOTE: SEE SITE PLAN FOR PARKING DIMENSIONS & LAYOUT



8 CONCRETE SIDEWALK SECTION
C-600 NOT TO SCALE



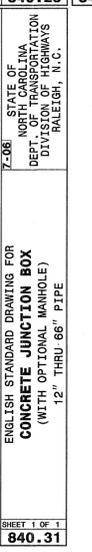
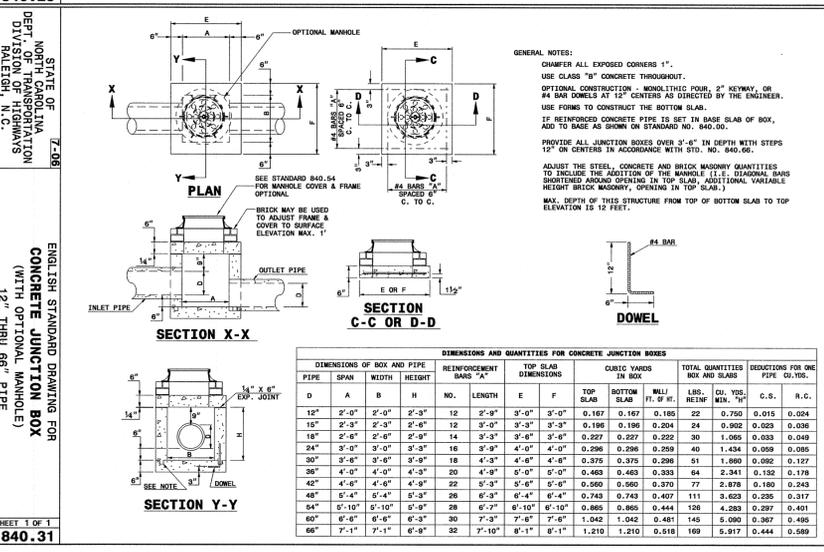
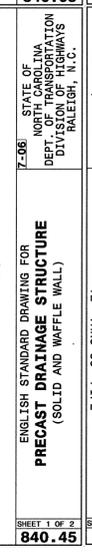
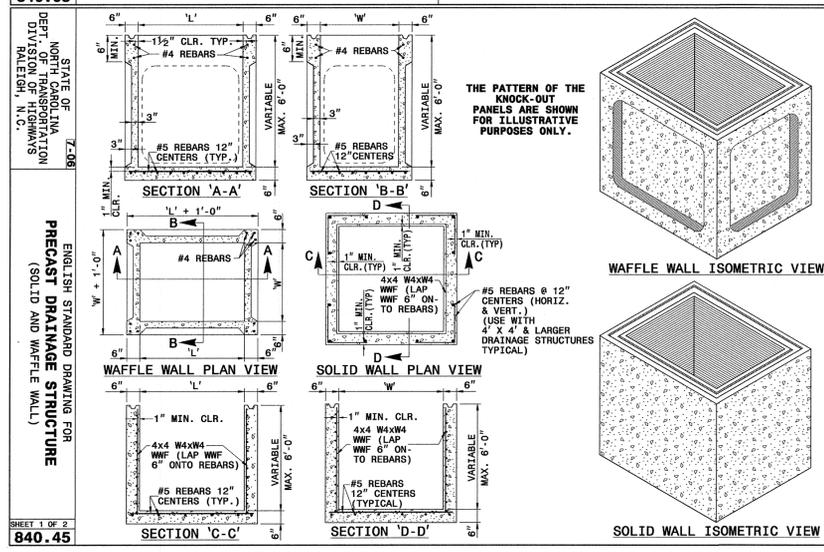
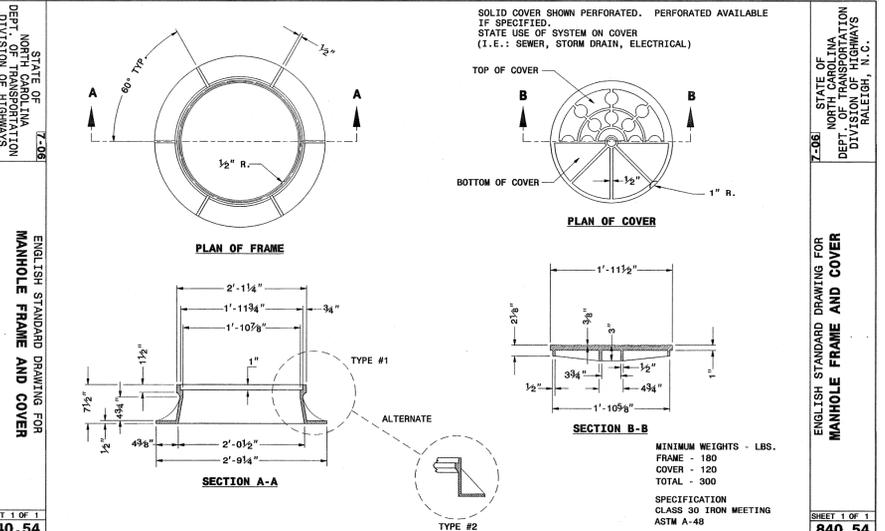
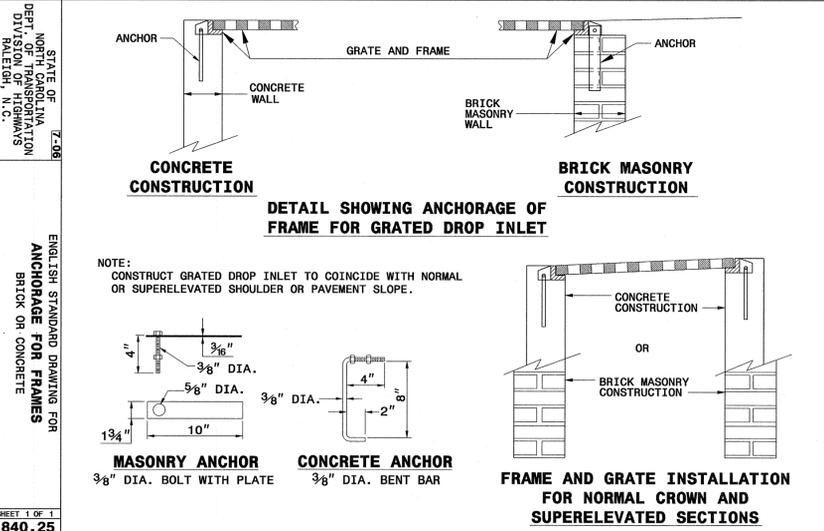
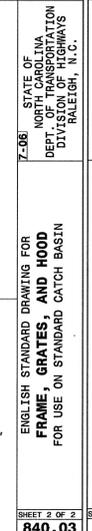
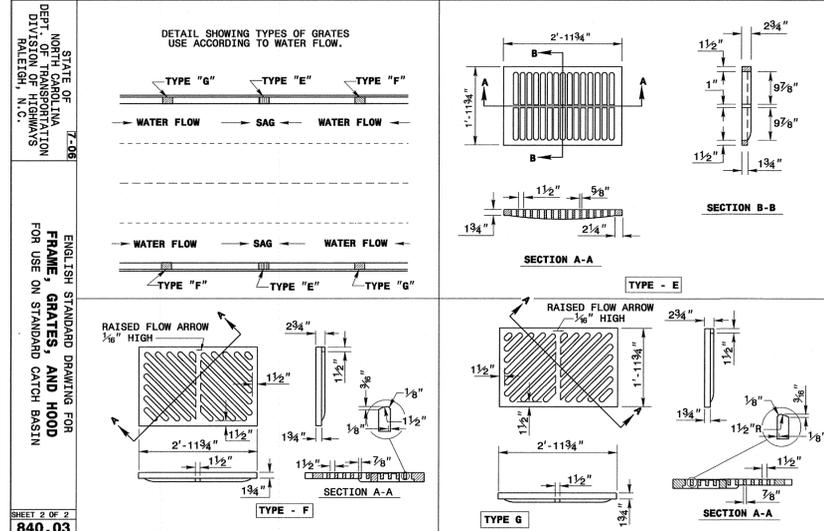
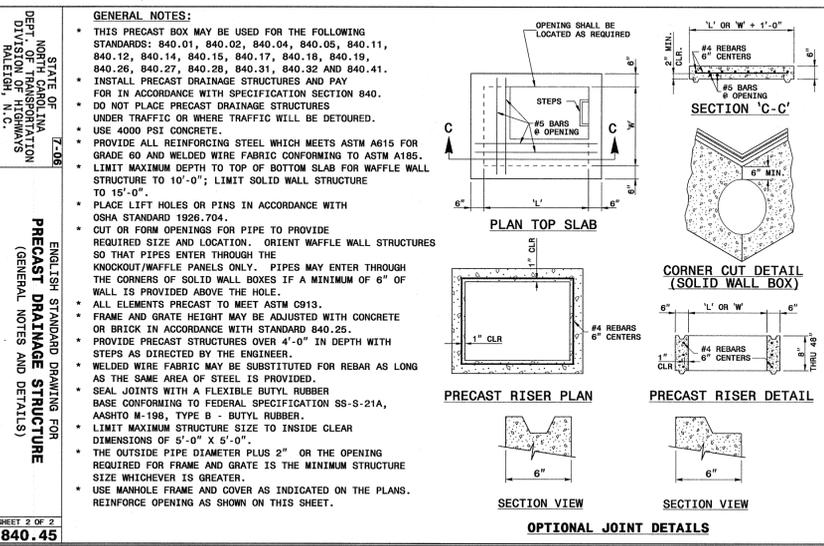
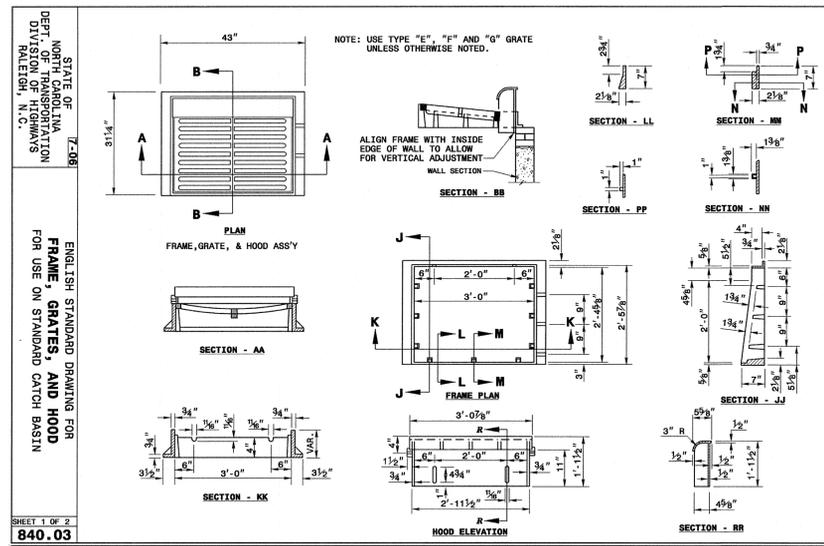
10 STANDARD HANDICAP RAMP
C-600 NOT TO SCALE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

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| | | | | | |
|--|---|---|--|---------------------|----------------------------------|
| <p>333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-835-1494 WWW.KIMLEY-HORN.COM</p> | KHA PROJECT 012325031 | CHATHAM MEDICAL OFFICE BUILDING 2 PREPARED FOR CHATHAM PARK INVESTORS LLC NC | | SITE DETAILS | SHEET NUMBER C-600 |
| | DATE 03/13/2015 | | | | |
| | SCALE AS SHOWN DESIGNED BY BTO DRAWN BY KJF CHECKED BY WJB | | | | |
| | PITTSBORO | | | | |

Plotted By: Wjw/nd, Dwg#: Sheet: Sta: Chatham Medical Office, Building 2, Layout: C-700, STORM DRAINAGE DETAILS, June 03, 2015 11:34:32am, K:\VDT_DEVA\012325031_chatham.mxd, \plotted phase\15-cad, files\chatham\C-700, STORM DRAINAGE DETAILS.dwg
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GENERAL NOTES:

CHAMFER ALL EXPOSED CORNERS 1".

USE CLASS "B" CONCRETE THROUGHOUT.

OPTIONAL CONSTRUCTION - MONOLITHIC POOR, 2" KEYWAY, OR #4 BAR CORNERS AT 12" CENTERS AS DIRECTED BY THE ENGINEER.

USE FORMS TO CONSTRUCT THE BOTTOM SLAB.

IF REINFORCED CONCRETE PIPE IS SET IN BASE SLAB OF BOX, ADD TO BASE AS SHOWN ON STANDARD NO. 840.00.

PROVIDE ALL JUNCTION BOXES OVER 3'-6" IN DEPTH WITH STEPS 12" OR CENTERS IN ACCORDANCE WITH STD. NO. 840.60.

ADJUST THE STEEL, CONCRETE AND BRICK MASONRY QUANTITIES TO INCLUDE THE WEIGHT OF THE MANHOLE (I.E., ORIGINAL BASIS). INCLUDE MANHOLE WEIGHT IN TOP SLAB. ADDITIONAL VARIABLE HEIGHT BRICK MASONRY OPENING IN TOP SLAB.

MAX. DEPTH OF THIS STRUCTURE FROM TOP OF BOTTOM SLAB TO TOP ELEVATION IS 12 FEET.

| PIPE DIAMETER | DIMENSIONS OF BOX AND PIPE | | | REINFORCEMENT BARS "A" | TOP SLAB DIMENSIONS | | CUBIC YARDS IN BOX | | TOTAL QUANTITIES BOX AND SLAB | | REDUCTIONS FOR ONE PIPE DIA. RED. | | | |
|------------------|----------------------------|--------|--------|---------------------------|------------------------|--------|-----------------------|-------|----------------------------------|-------|--------------------------------------|----------|-------|-------|
| | D | A | B | | LENGTH | E | F | TOP | BOTTOM | MLTY | LSBS. | CU. YDS. | C.S. | R.C. |
| 12" | 2'-0" | 2'-0" | 2'-0" | 12 | 2'-9" | 3'-0" | 3'-0" | 0.167 | 0.167 | 0.185 | 22 | 0.750 | 0.015 | 0.024 |
| 15" | 2'-3" | 2'-3" | 2'-3" | 12 | 3'-0" | 3'-3" | 3'-3" | 0.196 | 0.196 | 0.204 | 24 | 0.902 | 0.023 | 0.036 |
| 18" | 2'-6" | 2'-6" | 2'-6" | 14 | 3'-3" | 3'-6" | 3'-6" | 0.227 | 0.227 | 0.232 | 30 | 1.065 | 0.033 | 0.049 |
| 24" | 3'-0" | 3'-0" | 3'-0" | 16 | 3'-9" | 4'-0" | 4'-0" | 0.296 | 0.296 | 0.299 | 42 | 1.424 | 0.059 | 0.085 |
| 30" | 3'-6" | 3'-6" | 3'-6" | 18 | 4'-3" | 4'-6" | 4'-6" | 0.375 | 0.375 | 0.298 | 51 | 1.890 | 0.092 | 0.127 |
| 36" | 4'-0" | 4'-0" | 4'-0" | 20 | 4'-9" | 5'-0" | 5'-0" | 0.463 | 0.463 | 0.333 | 64 | 2.341 | 0.132 | 0.178 |
| 42" | 4'-6" | 4'-6" | 4'-6" | 22 | 5'-3" | 5'-6" | 5'-6" | 0.560 | 0.560 | 0.370 | 77 | 2.878 | 0.160 | 0.243 |
| 48" | 5'-0" | 5'-0" | 5'-0" | 26 | 6'-0" | 6'-4" | 6'-4" | 0.743 | 0.743 | 0.497 | 111 | 3.623 | 0.205 | 0.317 |
| 54" | 5'-10" | 5'-10" | 5'-10" | 28 | 6'-7" | 6'-10" | 6'-10" | 0.865 | 0.865 | 0.444 | 126 | 4.283 | 0.237 | 0.401 |
| 60" | 6'-6" | 6'-6" | 6'-6" | 30 | 7'-3" | 7'-6" | 7'-6" | 1.042 | 1.042 | 0.481 | 145 | 5.090 | 0.267 | 0.495 |
| 66" | 7'-1" | 7'-1" | 6'-9" | 32 | 7'-10" | 8'-1" | 8'-1" | 1.210 | 1.210 | 0.516 | 169 | 5.917 | 0.344 | 0.589 |

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KHA PROJECT
012325031
DATE
03/13/2015
SCALE AS SHOWN
DESIGNED BY BTO
DRAWN BY KJF
CHECKED BY WJB
PITTSBORO

**CHATHAM MEDICAL OFFICE
BUILDING 2**
PREPARED FOR
CHATHAM PARK INVESTORS LLC

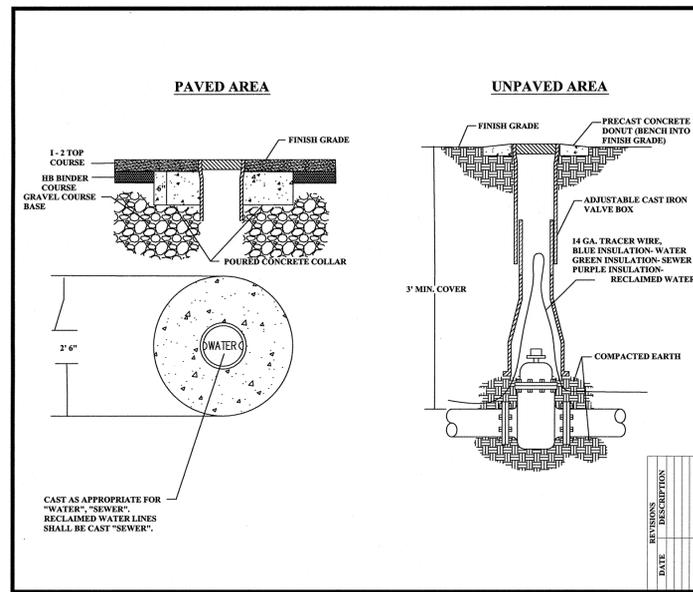


STORM DRAINAGE DETAILS

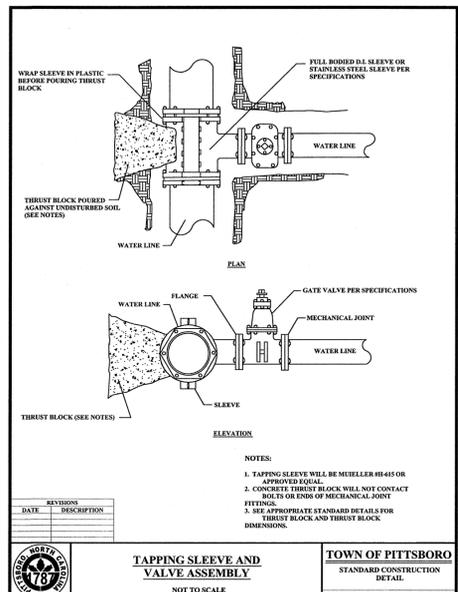
SHEET NUMBER

C-700

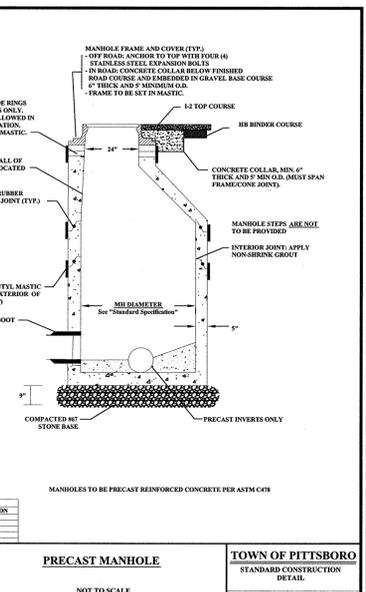
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 Sheet: S&T-Chatham, Medical Office Building 2 - Layout: C-800 - UTILITY DETAILS - June 17, 2015, 03:18:22pm
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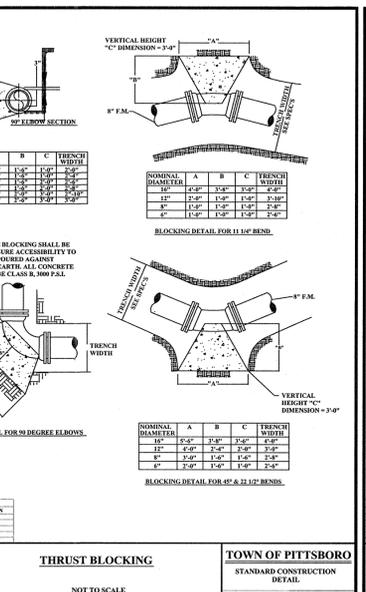
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 11
VALVE BOX INSTALLATION
 NOT TO SCALE



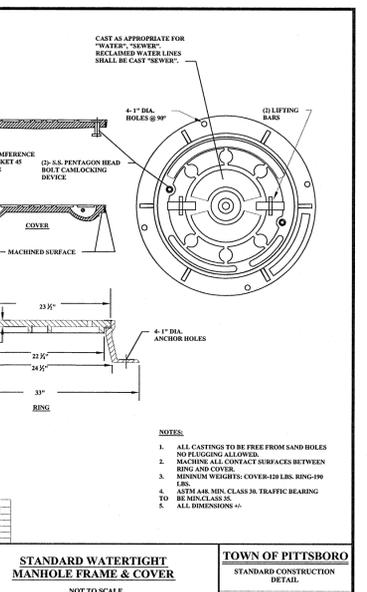
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 7
TAPPING SLEEVE AND VALVE ASSEMBLY
 NOT TO SCALE



TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 1
PRECAST MANHOLE
 NOT TO SCALE

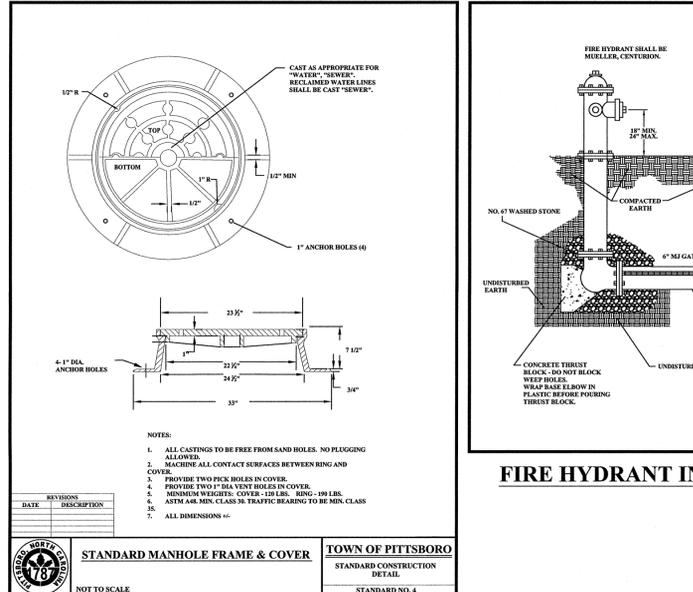


TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 17
THRUST BLOCKING
 NOT TO SCALE



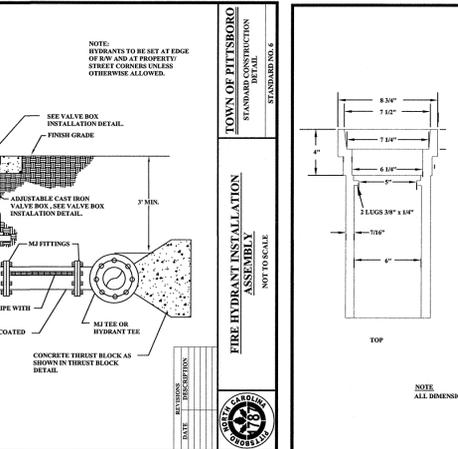
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 5
STANDARD WATERTIGHT MANHOLE FRAME & COVER
 NOT TO SCALE

VALVE BOX INSTALLATION



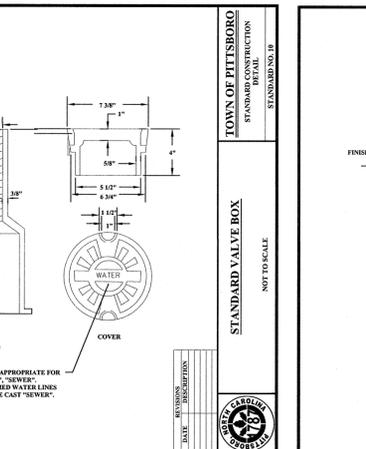
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 4
VALVE BOX INSTALLATION
 NOT TO SCALE

TAPPING SLEEVE AND VALVE ASSEMBLY



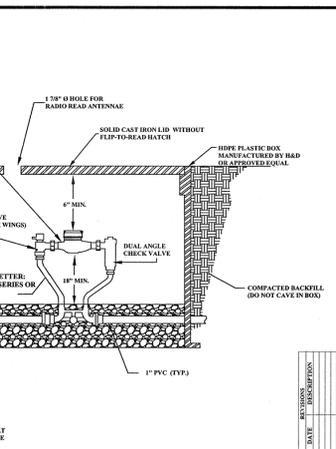
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 7
TAPPING SLEEVE AND VALVE ASSEMBLY
 NOT TO SCALE

PRECAST MANHOLE



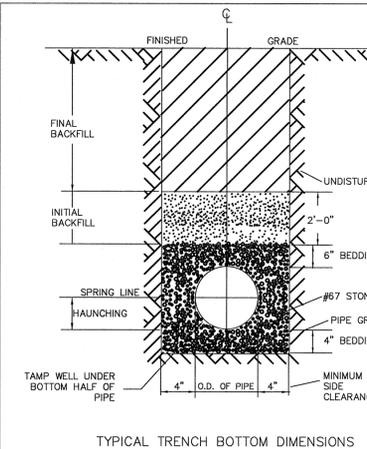
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 1
PRECAST MANHOLE
 NOT TO SCALE

THRUST BLOCK



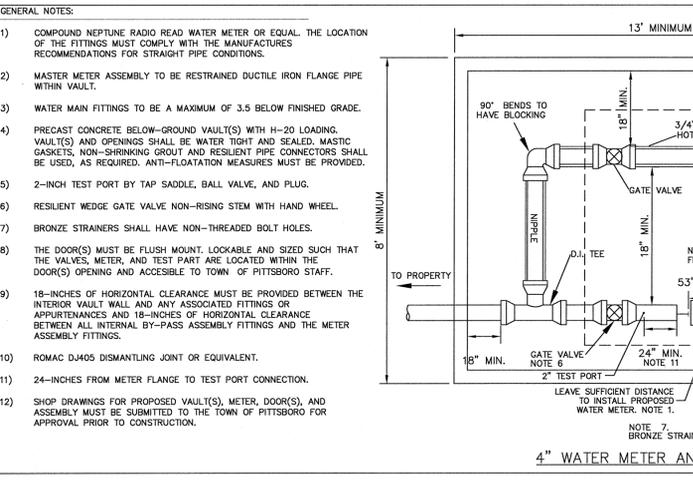
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 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 17
THRUST BLOCKING
 NOT TO SCALE

STANDARD WATERTIGHT MANHOLE FRAME & COVER



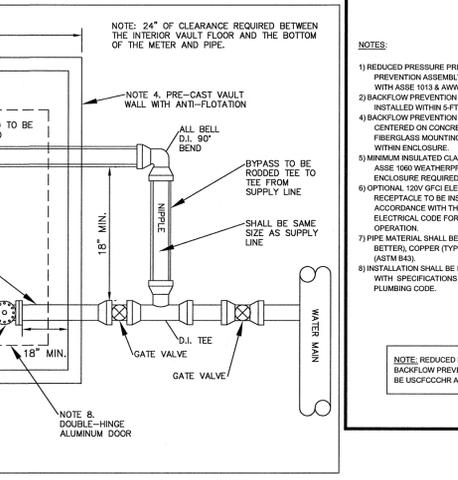
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 5
STANDARD WATERTIGHT MANHOLE FRAME & COVER
 NOT TO SCALE

STANDARD MANHOLE FRAME & COVER



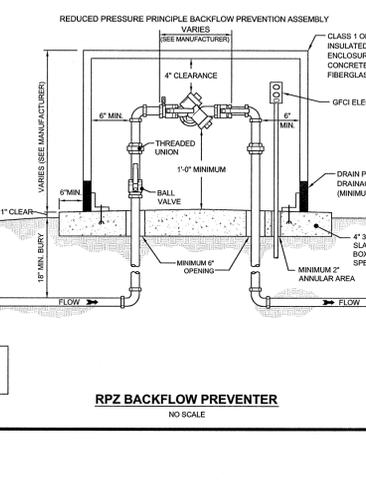
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 4
STANDARD MANHOLE FRAME & COVER
 NOT TO SCALE

FIRE HYDRANT INSTALLATION ASSEMBLY



TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 6
FIRE HYDRANT INSTALLATION ASSEMBLY
 NOT TO SCALE

STANDARD VALVE BOX



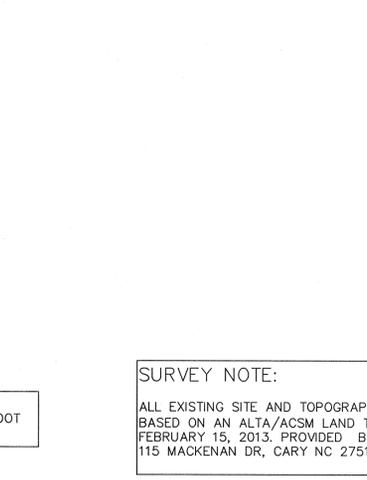
TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 11
STANDARD VALVE BOX
 NOT TO SCALE

METER AND METER BOX INSTALLATION



TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 12
METER AND METER BOX INSTALLATION
 NOT TO SCALE

TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE



TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 13
TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE
 NOT TO SCALE

GENERAL NOTES:

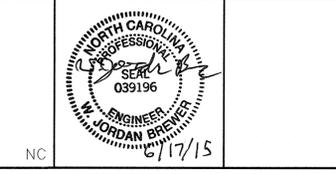
- 1) COMPOUND NEPTUNE RADIO READ WATER METER OR EQUAL. THE LOCATION OF THE FITTINGS MUST COMPLY WITH THE MANUFACTURER'S RECOMMENDATIONS FOR STRAIGHT PIPE CONDITIONS.
- 2) MASTER METER ASSEMBLY TO BE RESTRAINED DUCTILE IRON FLANGE PIPE WITHIN VAULT.
- 3) WATER MAIN FITTINGS TO BE A MAXIMUM OF 3.5 BELOW FINISHED GRADE.
- 4) PRECAST CONCRETE BELOW-GROUND VAULT(S) WITH H=20 LOADING. VAULT(S) AND OPENINGS SHALL BE WATER TIGHT AND SEALED. MASTIC GASKETS, NON-SHRINKING GROUT AND RESILIENT PIPE CONNECTORS SHALL BE USED, AS REQUIRED. ANTI-FLOATATION MEASURES MUST BE PROVIDED.
- 5) 2-INCH TEST PORT BY TAP SADDLE, BALL VALVE, AND PLUG.
- 6) RESILIENT WEDGE GATE VALVE NON-RISING STEM WITH HAND WHEEL.
- 7) BRONZE STRAINERS SHALL HAVE NON-THREAD BOLT HOLES.
- 8) THE DOOR(S) MUST BE FLUSH MOUNT, LOCKABLE AND SIZED SUCH THAT THE VALVES, METER, AND TEST PART ARE LOCATED WITHIN THE DOOR(S) OPENING AND ACCESSIBLE TO TOWN OF PITTSBORO STAFF.
- 9) 18-INCHES OF HORIZONTAL CLEARANCE MUST BE PROVIDED BETWEEN THE INTERIOR VAULT WALL AND ANY ASSOCIATED FITTINGS OR APPURTENANCES AND 18-INCHES OF HORIZONTAL CLEARANCE BETWEEN ALL INTERNAL BY-PASS ASSEMBLY FITTINGS AND THE METER ASSEMBLY FITTINGS.
- 10) ROMAC DJ405 DISMANTLING JOINT OR EQUIVALENT.
- 11) 24-INCHES FROM METER FLANGE TO TEST PORT CONNECTION.
- 12) SHOP DRAWINGS FOR PROPOSED VAULT(S), METER, DOOR(S), AND ASSEMBLY MUST BE SUBMITTED TO THE TOWN OF PITTSBORO FOR APPROVAL PRIOR TO CONSTRUCTION.



TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 14
4\"/>



TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 15
RPZ BACKFLOW PREVENTER
 NO SCALE



TOWN OF PITTSBORO
 STANDARD CONSTRUCTION DETAIL
 STANDARD NO. 16
SURVEY NOTE
 NOT TO SCALE

Kimley»Horn

333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-835-1494
 WWW.KIMLEY-HORN.COM

KHA PROJECT
 012325031
 DATE
 03/13/2015
 SCALE AS SHOWN
 DESIGNED BY BTO
 DRAWN BY KJF
 CHECKED BY WJB
 PITTSBORO

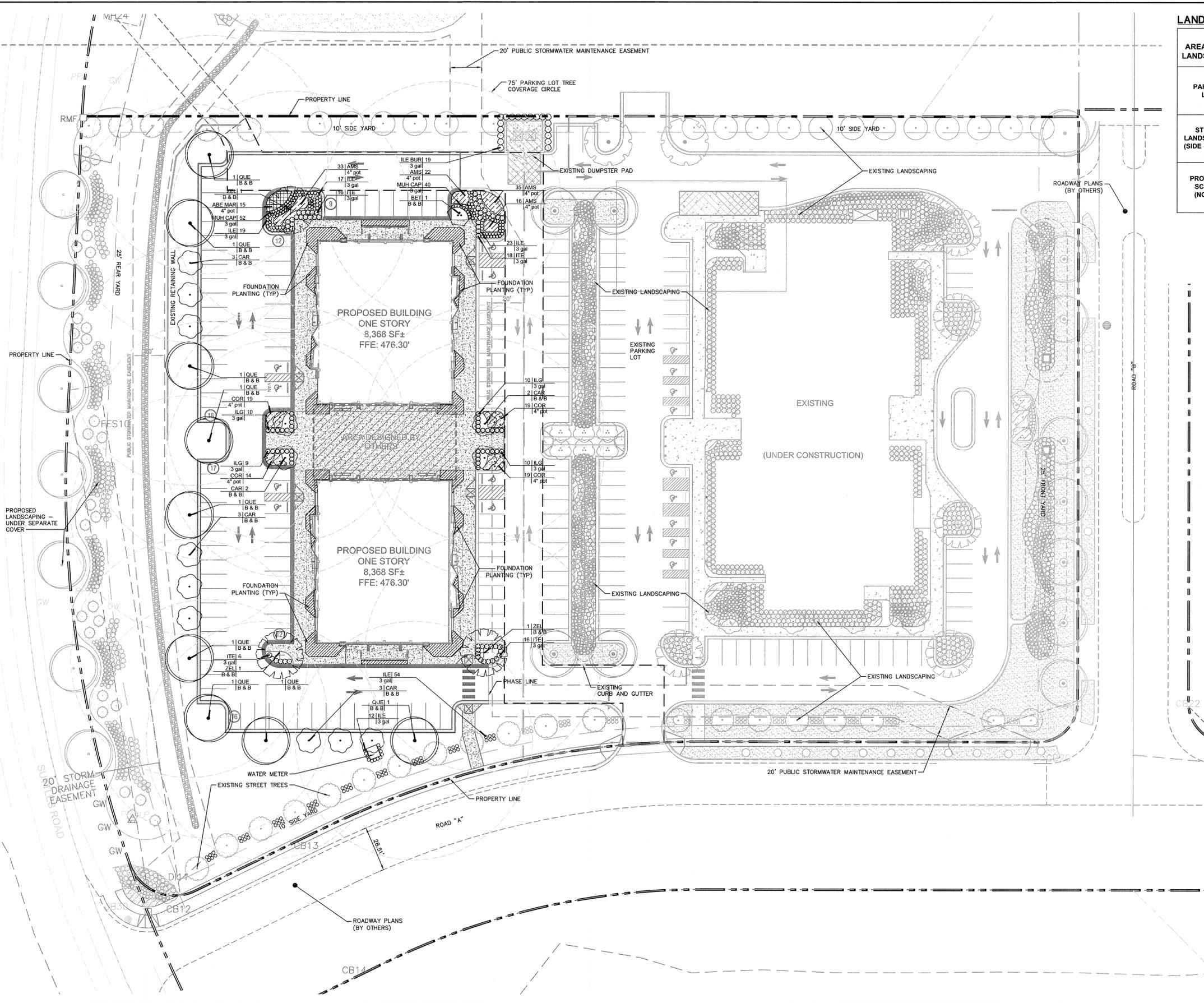
**CHATHAM MEDICAL OFFICE
 BUILDING 2**
 PREPARED FOR
CHATHAM PARK INVESTORS LLC



UTILITY DETAILS

SHEET NUMBER
C-800

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| AREA TO BE LANDSCAPED | CODE REQUIREMENT | TOTAL SPACES/ LINEAR FEET | TOTAL QUANTITY REQUIRED | TOTAL QUANTITY PROVIDED | CODE SECTION |
|-----------------------------------|---|---------------------------|--|---|--|
| PARKING LOT | 0.10 LARGE TREES PER PARKING SPACE 0.125 SMALL TREES PER PARKING SPACE | 106 | LARGE TREES: 106 x 0.10 = 10.6 SMALL TREES: 106 x 0.125 = 13.25 TREES | 11 LARGE TREES 14 SMALL TREES | ARTICLE XVII 18.3 |
| STREET LANDSCAPING (SIDE - SOUTH) | FOR EVERY 100 LINEAR FEET OF LANDSCAPING THERE SHALL BE AT A MINIMUM FOUR SMALL TREES AND 12 SHRUBS | 214 LF | SHRUBS 214 / 100 = 2.14 2.14 x 12 = 25.68 | TREE REQUIREMENT MET WITH EXISTING TREES 54 SHRUBS | ARTICLE XVIII 18.2 |
| PROPERTY SCREEN (NORTH) | TYPE C - BROKEN SCREEN. A SCREEN COMPOSED OF INTERMEDIATE VISUAL OBSTRUCTIONS FROM THE GROUND TO AT LEAST 20' HEIGHT. TREES WITH NO MORE THAN 10' SPACES BETWEEN THEM AT MATURE SIZE. | | | PROVIDED USING PLANTING ASSOCIATED WITH MOB 1 | ARTICLE VII 7.5 APPENDIX 1 A1.1 C |

GENERAL LANDSCAPE NOTES:

ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.

ALL TREES MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.

ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.

ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.

ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.

ALL SHADE TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED 6'-7' PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES. ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.

ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF TOWN OF PITTSBORO INSPECTOR AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.

THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.

THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.

THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.

AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.

ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH TRIPLE SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES.

LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.

SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.

ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.

THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.

ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.

ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.

FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES. SEE DETAILS THIS SHEET.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.

CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND TO RAKE ENTIRE SITE.

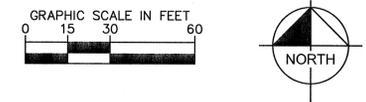
THE CONTRACTOR SHALL INSTALL BLACK FABRIC PERMEABLE MESH UNDER PLANTING BED MULCH TO PREVENT WEED GROWTH.

CONTRACTOR SHALL MAINTAIN LANDSCAPING FOR AT LEAST 30 DAYS AFTER SODDING AND PLANTING SHRUBS, AND 60 DAYS AFTER SEEDING, OR AS LONG AS IS NECESSARY TO ESTABLISH UNIFORM STRAND OF THE SPECIFIED GRASSES, OR UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT, OR UNTIL ACCEPTANCE OF THE LAWNS AND SHRUBS, WHICHEVER IS LATER.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF PITTSBORO, CHATHAM COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:

ALL EXISTING SITE AND TOPOGRAPHIC INFORMATION SHOWN BASED ON AN ALTA/ACSM LAND TITLE SURVEY DATED FEBRUARY 15, 2013. PROVIDED BY WHITHERS & RAVENEL, 115 MACKENAN DR, CARY NC 27511. PHONE 919-469-3340



| No. | REVISIONS | DATE | BY |
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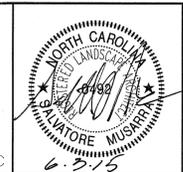
333 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-835-1494
WWW.KIMLEY-HORN.COM

KHA PROJECT
012325031
DATE
03/13/2015
SCALE AS SHOWN
DESIGNED BY BTO
DRAWN BY KJF
CHECKED BY WJB

**CHATHAM MEDICAL OFFICE
BUILDING 2**

PREPARED FOR
CHATHAM PARK INVESTORS LLC

PITTSBORO NC



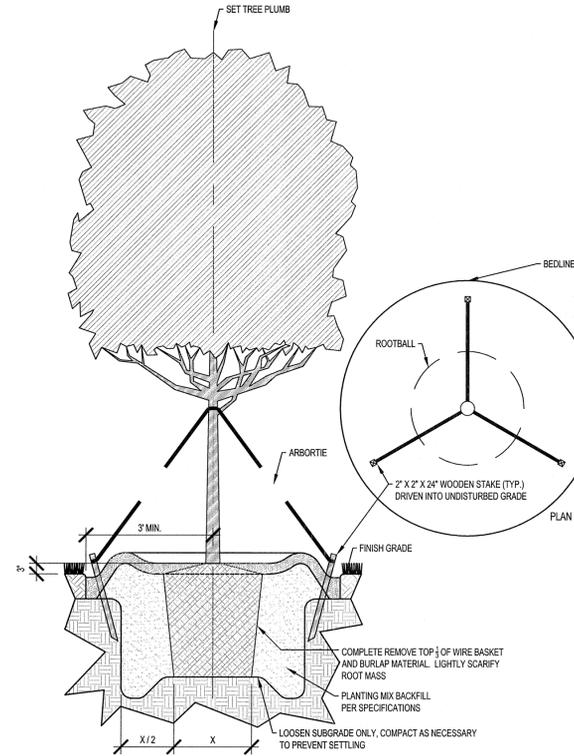
LANDSCAPE PLAN

SHEET NUMBER
L-100

Plotted By: Roy, Bethany, Sheet Set: Chatham Medical Office Building 2 - Landscape Details - June 03, 2015 12:16:13pm, K:_DD\LD\DEV\012325031_chatham.mdb 2_planning phase\15_sca_rss\plan sheets\200_LANDSCAPE DETAILS.dwg
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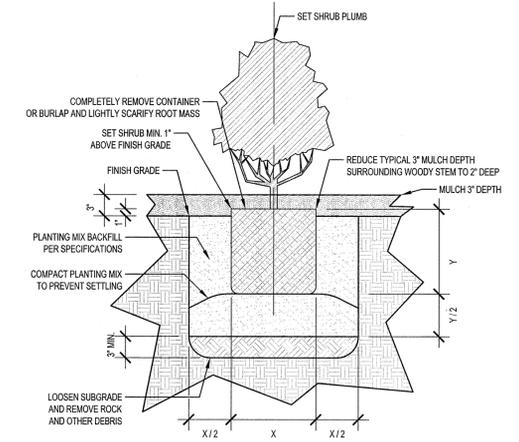
PLANT SCHEDULE

| TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CAL | SIZE | REMARKS | |
|---------------|-----|------------------------------------|-------------------------|--------|-------|-----------|----------|----------|
| BET | 1 | Betula nigra | River Birch Multi-Trunk | B & B | 2"Cal | 12'-14' H | 3 CANES | |
| CAR | 13 | Carpinus betulus | European Hornbeam | B & B | 2"Cal | | | |
| QUE | 9 | Quercus rubra 'Scarlet' | Red Oak | B & B | 4"Cal | | | |
| ZEL | 3 | Zelkova serrata 'Village Green' | Sawleaf Zelkova | B & B | 4"Cal | | | |
| SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | SIZE | WIDTH | HEIGHT | SPACING | REMARKS |
| ILE | 125 | Ilex vomitoria 'Nana' | Dwarf Yaupon | 3 gal | 15" | 15" | 24" o.c. | |
| ILE BUR | 19 | Ilex cornuta 'Burfordii Nana' | Dwarf Burford Holly | 3 gal | 18" | 24"-30" | 48" o.c. | |
| ILG | 39 | Ilex glabra 'Compacta' | Compact Inkberry | 3 gal | 24" | 24" | 36" o.c. | |
| ITE | 66 | Itea virginica 'Little Henry'™ | Virginia Sweetspire | 3 gal | 24" | 24" | 36" o.c. | |
| MUH CAP | 92 | Muhlenbergia capillaris | Pink Muhly | 3 gal | 24" | 24" | 24" o.c. | |
| GROUND COVERS | QTY | BOTANICAL NAME | COMMON NAME | CONT | WIDTH | HEIGHT | SPACING | REMARKS |
| ABE MAR | 15 | Abelia x 'Mardi Gras' | Mardi Gras Abelia | 4" pot | | | 36" o.c. | |
| AMS | 106 | Amsonia tabernaemontana 'Blue Ice' | Blue Ice Star Flower | 4" pot | 12" | 12" | 24" o.c. | Full pot |
| COR | 71 | Coreopsis x 'Creme Brulee' | Creme Brulee Tickseed | 4" pot | 12" | 12" | 30" o.c. | Full pot |



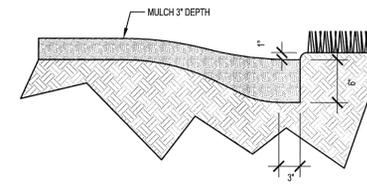
- TREE PLANTING NOTES:**
- SET TREE MIN. 3" ABOVE SURROUNDING FINISH GRADE. MEASURED AT BASE OF TRUNK.
 - REDUCE TYPICAL 3" MULCH DEPTH SURROUNDING WOODY TRUNK TO 2" DEEP.

1
L-200
TYPICAL TREE PLANTING & GUYING
PLAN & SECTION
SCALE: 1/2"=1'-0"



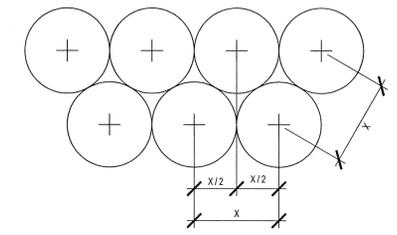
2
L-200
TYPICAL SHRUB PLANTING
SECTION
SCALE: 1"=1'-0"

- GENERAL LANDSCAPE NOTES:**
- ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
 - ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.
MULCH TYPE FOR PROJECT: TRIPLE SHREDDED HARDWOOD
 - PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.



- PLANTING BED TRENCH EDGING NOTE:**
- TRENCH EDGE SHALL BE LOCATED BETWEEN PLANTING BED AND ALL TURF OR NATIVE GRASS AREAS.
 - TRENCH EDGE SHALL BE CONSTRUCTED ALONG ALL HARDSCAPE AREAS FOR SIMILAR CONDITION.
 - MAINTAIN POSITIVE DRAINAGE IN ALL PLANTING BEDS.
 - SEE NOTES THIS SHEET FOR TYPE OF MULCH.

3
L-200
PLANTING BED TRENCH EDGING
SECTION
SCALE: 1"=1'-0"



- PLANT SPACING NOTES:**
- SEE PLANTING PLAN FOR SHRUB AND GROUND COVER AREAS.
 - PLANT MATERIAL SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.
 - SEE PLANTING PLAN AND/OR PLANT SCHEDULE FOR ACTUAL PLANT SPACING.

4
L-200
TYPICAL STAGGERED ROW PLANT SPACING
PLAN
SCALE: 1/2"=1'-0"

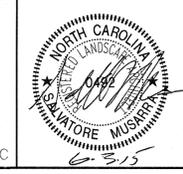
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PHONE: 919-835-1494
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| KHA PROJECT | 012325031 |
| DATE | 03/13/2015 |
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| DRAWN BY | KJF |
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CHATHAM MEDICAL OFFICE BUILDING 2
PREPARED FOR
CHATHAM PARK INVESTORS LLC



LANDSCAPE DETAILS

SHEET NUMBER
L-200