



PRESENTATION TO THE TOWN OF PITTSBORO

COMMUNITY HOUSE RENOVATION

AUGUST 13, 2012



## Site Issues & Recommendations:

- Poor grading around the building with water directed towards the building. This appears to be the source of the water in the basement.
- Poor storm drainage. The only storm drain appears to be located at the NE corner of the site and is not sufficient for the amount of water on the site.
- The existing downspouts empty water adjacent to the foundation walls and the existing grade holds water around the building.
- ADA compliance. The site needs to be brought up to the current handicapped accessibility code.
- Safety. Upgrades needed for pedestrian and vehicular traffic.
- Re-grading of the site is needed, along with other site improvements such as new retaining walls, sidewalks, and plantings.

SITE





SITE IMAGES



## Building Exterior Issues & Recommendations:

- Cracks in the masonry walls. Limited tuck pointing of mortar joints, installation of flexible sealant in cracks that move due to expansion and contraction, and repairs to concrete sills. All materials used to restore the exterior masonry would match the original.
- The existing wood windows. These are in relatively good condition and repair rather than replacement is feasible. New storm windows would add to overall energy efficiency and would protect the windows if they are retained.
- Exterior doors are in poor shape. New doors can be made to match the originals.
- Wood trim. Some areas of the wood trim need to be replaced and repainted, including the front columns.
- The existing outbuilding. Demolition of this masonry structure on the north side of the building is recommended.

## BUILDING EXTERIOR





BUILDING EXTERIOR IMAGES

## Building Interior Issues & Recommendations:

- ADA compliance. The building needs to be brought up to the current handicapped accessibility code.
- Inefficient floor plan. A new floor plan has been developed on the north side of the fireplace.
- Plumbing, Mechanical, and Electrical systems need modification or replacement.
- New finishes are needed throughout the building.
- HVAC returns in main room. These are proposed to be relocated to the corners of the large room due to historic and aesthetic considerations.
- Masonry walls. Repairs to the interior masonry walls are recommended similar to what is proposed for the exterior walls.

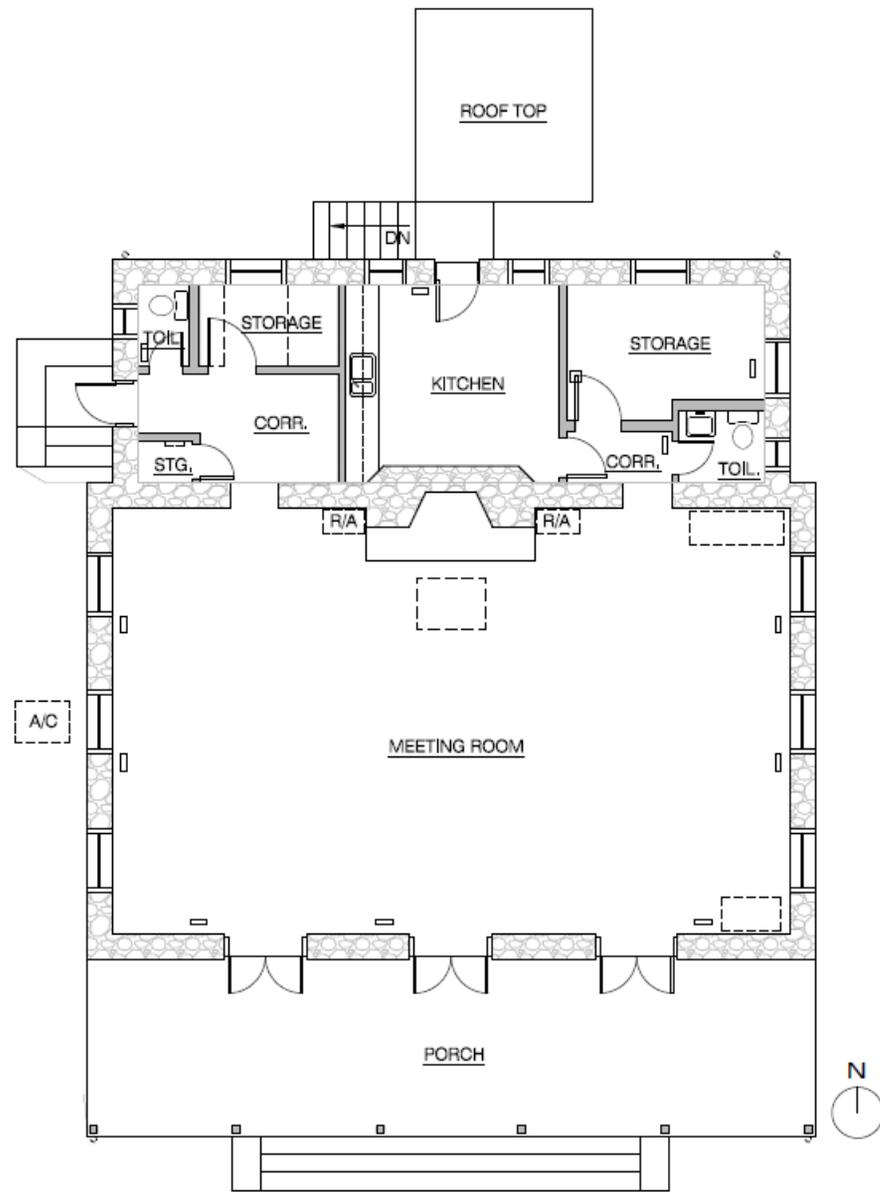
## BUILDING INTERIOR





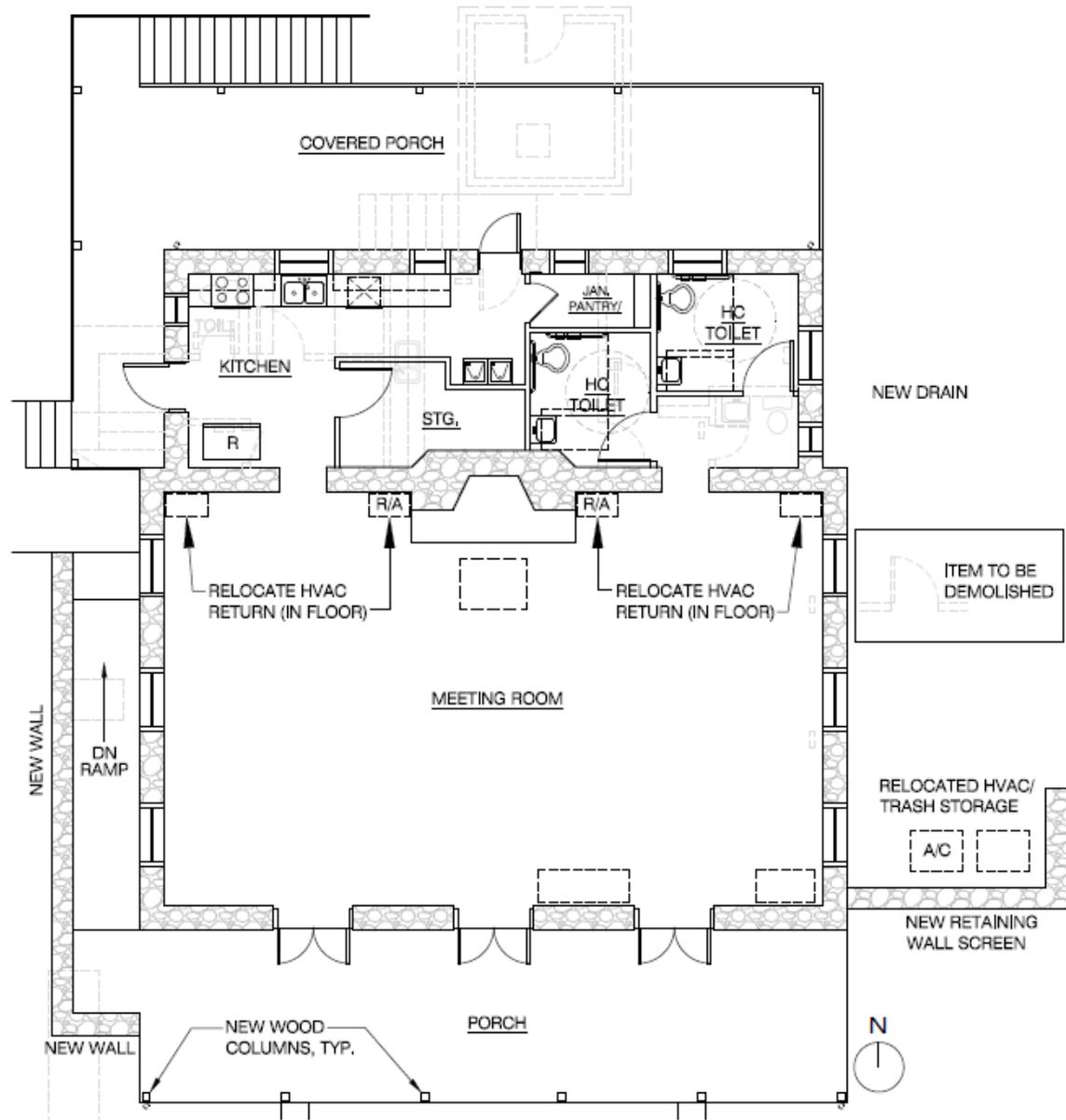
**BUILDING INTERIOR IMAGES**





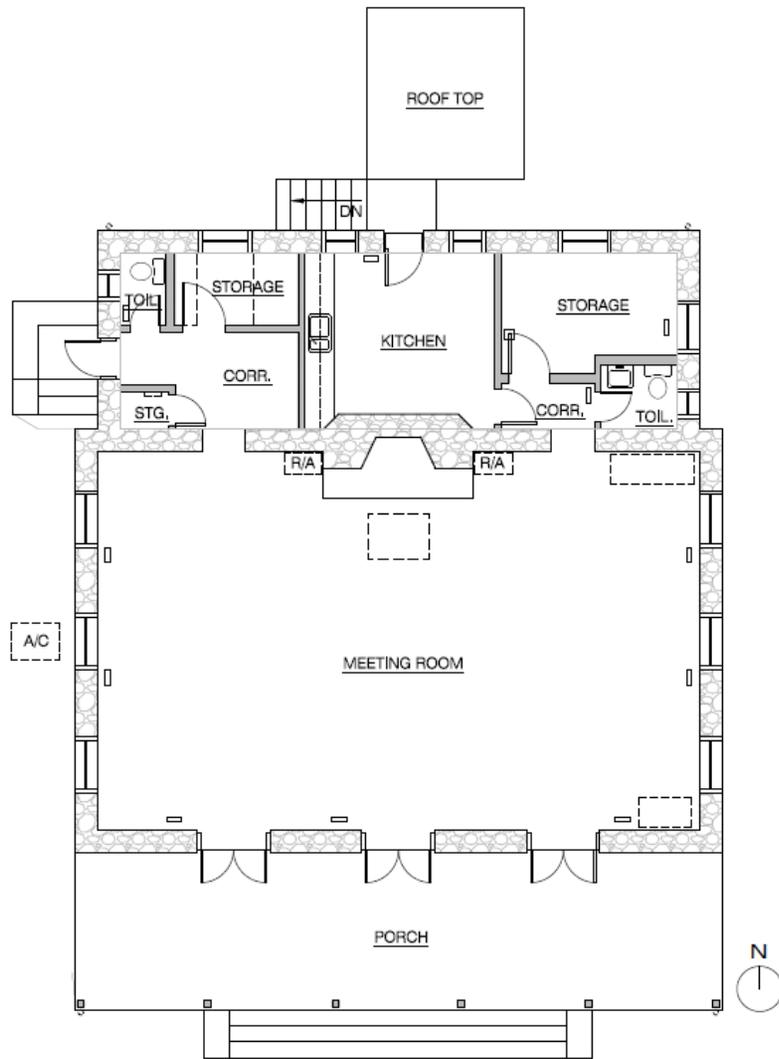
**EXISTING 1<sup>st</sup> FLOOR PLAN**



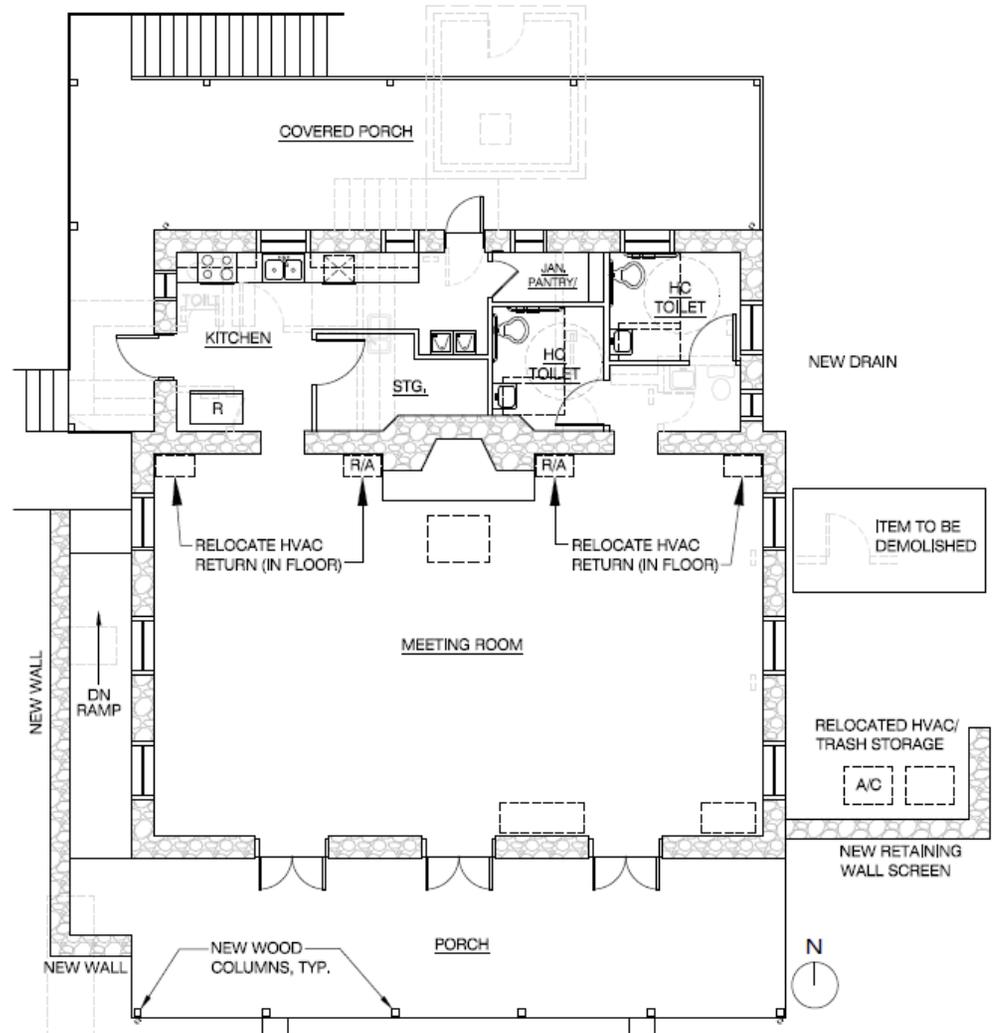


**PROPOSED 1<sup>st</sup> FLOOR PLAN**



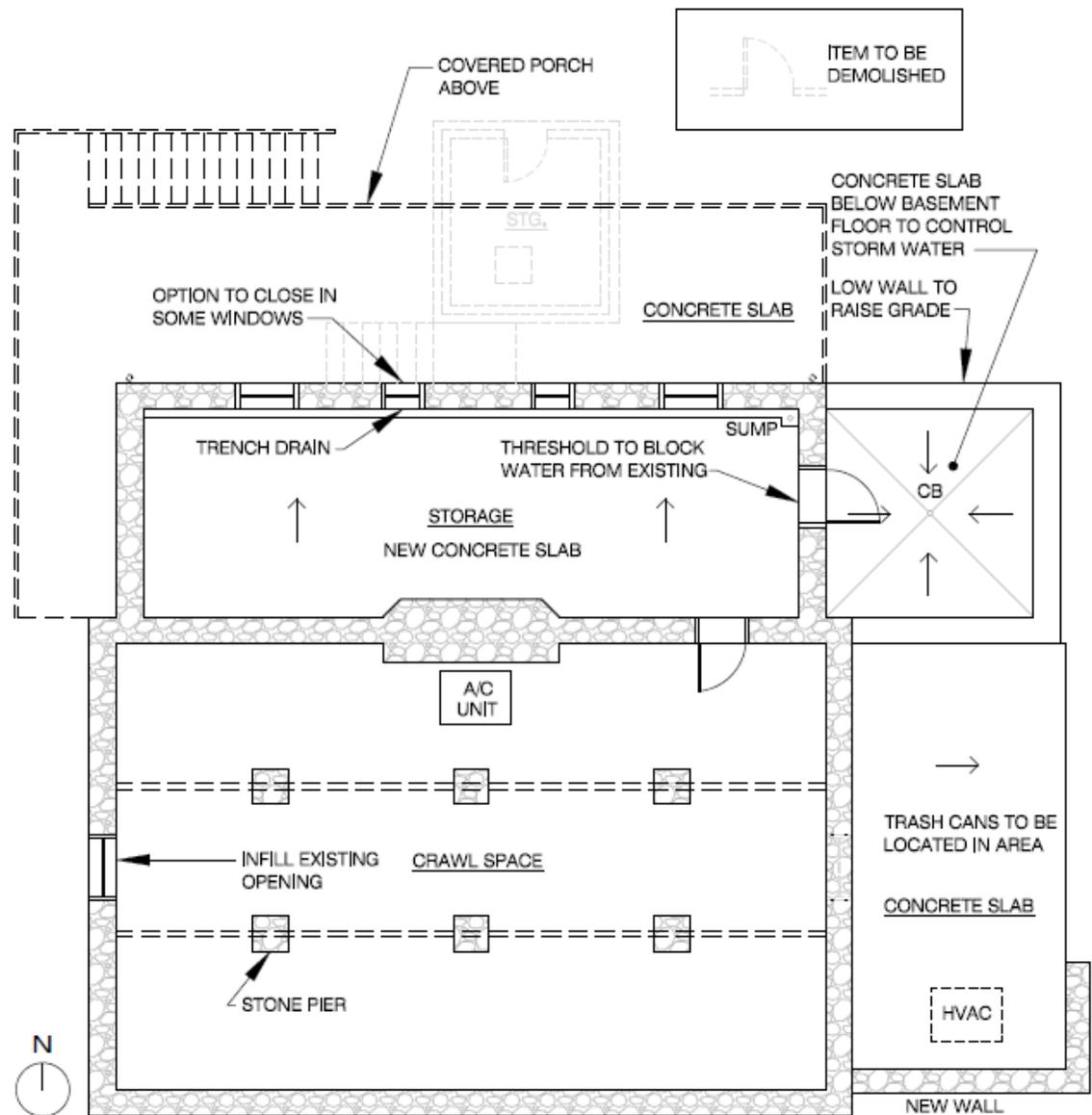


**EXISTING 1<sup>st</sup> FLOOR PLAN**



**PROPOSED 1<sup>st</sup> FLOOR PLAN**





**PROPOSED BASEMENT FLOOR PLAN**



## PHASE 1: SITE GRADING AND SITE IMPROVEMENTS

- Focus on re-grading the site and diverting water away from the building
- Build retaining and other landscape walls as necessary
- Include landscaping plants as bid alternates to match the available funds

## PHASE 2: BUILDING RENOVATION

- The renovation work does not lend itself to phasing
- Include portions of the work as bid alternates to match the available funds

## BIDDING:

- Combine phases into one bid package
- Break phases and portions of the work into bid alternates to match the available funds

## PHASING / BID OPTION #1: SITE AND BUILDING



**•CONSTRUCTION ESTIMATE**

- Base Bid: work to building	(\$ 277,700.00)	
- Landscaping alternate – full design	(\$ 106,200.00)	
- Rear Porch Alternate	(\$ 20,000.00)	
- Security System Alternate	(\$ 4,000.00)	\$ 407,900.00

<b>•<u>DESIGN FEE ESTIMATE</u></b>		\$ 40,000.00
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<b>•<u>CONTINGENCY (5%)</u></b>		\$ 20,000.00
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**•OWNER'S COSTS**

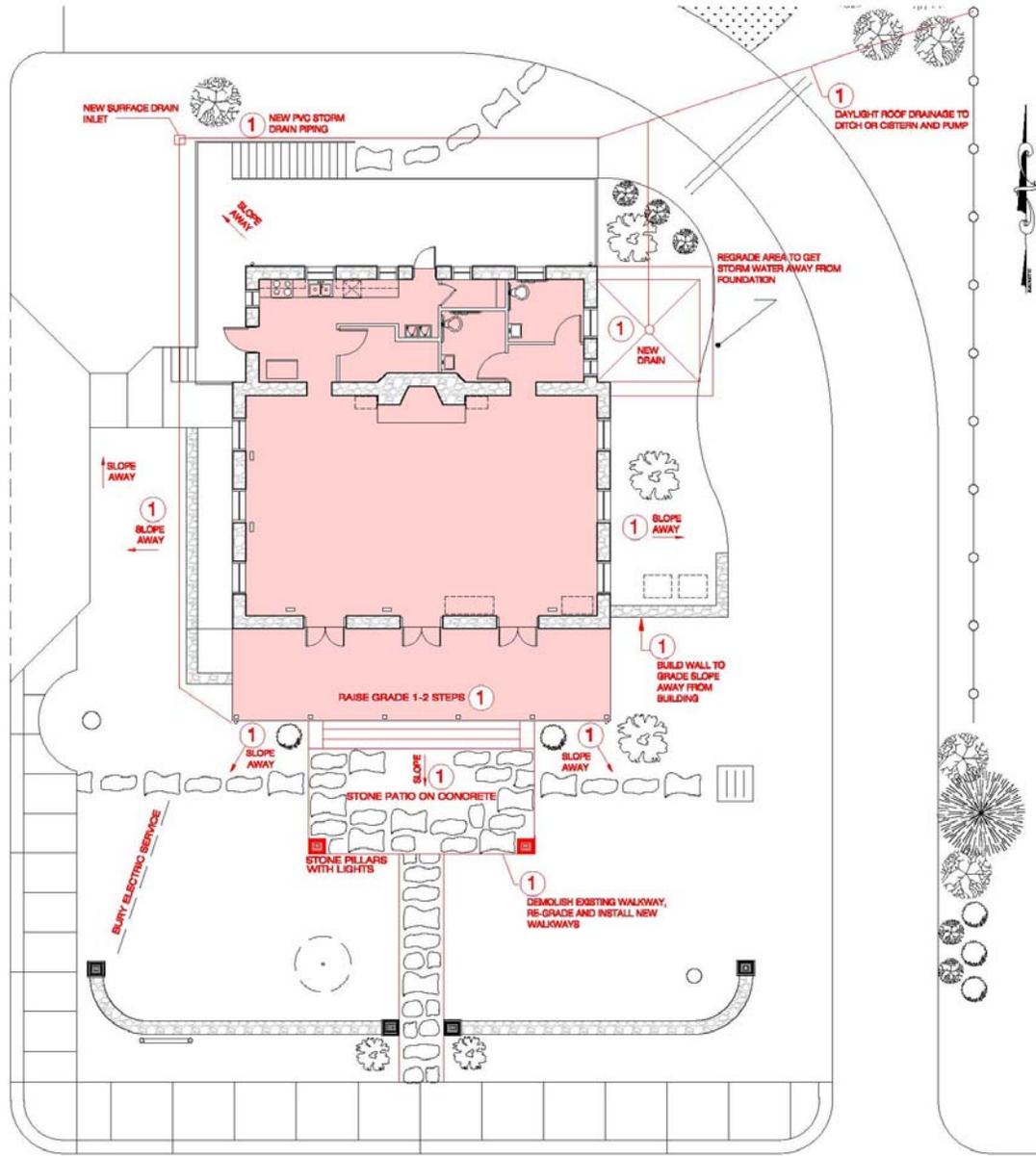
- Testing	(\$2,000.00)	
- Surveying	(\$2,500.00)	
- Equipment	(\$2,000.00)	
		\$ <u>6,500.00</u>

**TOTAL :** \$ 474,400.00



**ESTIMATED PROJECT BUDGET: SITE & BUILDING**





**PHASING / BID OPTION #2: SITE ONLY**



**•CONSTRUCTION ESTIMATE**

- Project aimed at diverting water away from the building
- Site Grading, demolition, new sidewalks, and seeding

\$ 77,700.00

**•DESIGN FEE ESTIMATE**

- Fund full scope of site design
- Bid portions of the work as bid alternates
- The initial site grading project would be the base bid

\$ 7,700.00

**•CONTINGENCY (10%)**

\$ 7,700.00

**•OWNER'S COSTS**

- Surveying
- Bury power line

\$ 4,000.00

TOTAL:

\$ 97,100.00



ESTIMATED PROJECT BUDGET: SITE ONLY



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