

MINUTES
TOWN OF PITTSBORO
BOARD OF COMMISSIONERS
REGULAR MEETING
JULY 23, 2012
7:00 P.M.

Mayor Randolph Voller called the meeting to order and called for a moment of silence.

ATTENDANCE

Members present: Mayor Randolph Voller, Commissioners Pamela Baldwin, Jay Farrell, Michael Fiocco, Bett Wilson Foley and Beth Turner.

Staff present: Manager Bill Terry, Clerk Alice F. Lloyd, Planner Stuart Bass and Assistant Planner Horne.

Motion made by Commissioner Fiocco seconded by Commissioner Baldwin to approve a Resolution Expressing Sympathy to the Victims of the Violent Attack Against Innocent Movie Goers in Aurora, Colorado along with the regular agenda.

Vote Aye-5 Nay-0

CONSENT AGENDA

Motion made by Commissioner Fiocco seconded by Commissioner Baldwin to approve the consent agenda as presented changing the public hearing date on the proposed Chatham Park Investors, LLC annexation from August 27, 2012 to August 13, 2012 at 7:00 p.m. The Consent Agenda contains the following items:

Approve the minutes of the May 14, 2012 regular meeting.
Motion carried 5-0

Approve the minutes of the May 29, 2012 regular meeting.
Motion carried 5-0

To Schedule a public hearing on the Proposed Annexation A-2012-03, Chatham Park Investors LLC for August 13, 2012 at 7:00 p.m. and to authorize the Town Clerk to determine the sufficiency of the application.
Motion carried 5-0

REGULAR MEETING AGENDA

Citizens Matters
None

Mayor Voller read the following resolution and asked for the board's approval.

**A RESOLUTION EXPRESSING SYMPATHY TO THE VICTIMS
OF THE VIOLENT ATTACK AGAINST INNOCENT MOVIE GOERS IN
AURORA, COLORADO**

WHEREAS, the Board of Commissioners of the Town of Pittsboro supports the safety and well being of the public at large while attending public events such as movies and sporting events; and

WHEREAS, citizens should not feel threatened nor intimidated at such events; and

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the Town of Pittsboro that the Town of Pittsboro offers its support and its deepest sympathy for the victims of this attack.

AND FURTHER RESOLVES to condemn the senseless violence that was expressed in this attack in Aurora, Colorado.

Motion made by Commissioner Fiocco seconded by Commissioner Turner to approve the resolution Expressing Sympathy to the Victims of the Violent Attack Against Innocent Movie Goers in Aurora, Colorado.

Vote Aye-5 Nay-0

**A RESOLUTION EXPRESSING SYMPATHY TO THE VICTIMS OF THE VIOLENT
ATTACK AGAINST INNOCENT MOVIE GOERS IN AURORA, COLORADO IS
RECORDED IN THE BOOK OF RESOLUTIONS NUMBER ONE, PAGE 66**

PUBLIC HEARING

Motion made by Commissioner Fiocco seconded by Commissioner Turner to go into a public hearing.

Vote Aye-5 Nay-0

DRAFT TOWN OF PITTSBORO LAND USE PLAN

Planner Bass stated he presented the board with the final draft of the Land Use Plan last December. They had a couple meetings after that and received quite a few comments, primarily from the Planning Board. Back in January they contacted the original contractor on the project which was the TJCOG and they met through early spring on a monthly basis going over the document, doing edits and trying to incorporate any comments received. He said the draft plan has been on the website and a copy for review at Town Hall.

Public Comments:

Martha Girolami, 473 Mt. Pisgah Church Road, Apex, NC, Chatham County and she are with Sharon Garbutt and John Wagner with the Chatham Research Group.

Ms Girolami read the following prepared statement:

We all live in Chatham County, not in Pittsboro, but we wanted to come tonight to tell you that your land use plan is very well done. In the county regrettably we do not have a land use plan which would allow us to value what we have and make good decisions and plans for a sustainable future.

We came tonight because we wanted to raise the issue of hydraulic fracturing or fracking which your plan does not deal with. Fracking has just become legal in NC. Since fracking began in 2006 in the United States and was implemented without federal regulations from the CAA, CWA, CDWA, etc. more and more negative impacts from fracking have become apparent.

I imagine you are thinking fracking affects Lee County and maybe later other counties like southern and eastern Chatham, western Wake, Durham, etc.

But fracking is an intense large-scale industry which has wide spread impacts that may affect Pittsboro and its ETJ. Besides the impacts on the environment there are grave issues about whether towns or counties will be in control of land uses within their jurisdiction. Will they have a voice in the location of well pads, pipelines, tank farms, lagoons etc. and fair access to water ahead of the drillers? Will their local ordinances on land use, zoning, lighting, noise, traffic stand or be invalidated? Will our communities be able to protect their citizen's health and environment and quality of life? And what will be the financial cost to the town?

A. Here are some of the impacts that **may** affect this area and town:

- Transportation impacts:

- Heavy truck traffic and congestion
- Truck accidents
- Spills from chemical tanker trucks
- Dangerous chemical transport through or near town
- Road damage

- Impacts on police and fire departments:

- Increased demands on the police and fire departments for truck accidents, traffic infractions, chemical spills and misdemeanors caused by transient gas workers.

- Requests for town fire and police support for drilling accidents in Lee or Chatham counties.

- Water Impacts – spills run off
- Spills from chemical tanker trucks
- Illegal dumping of toxic wastewaters
- Diesel fuel spills and leaks from trucks

(Remember this is the 30 year anniversary of the dumping of PCB's by Wade Transformer along hundreds of miles of NC's roadsides)

Use of nearby land for toxic wastewater lagoons
Land farming of toxic wastewaters
Reuse of toxic wastewaters on roads for dust control and deicing

- Water shortages

Where is the frack water coming from? The Haw River and Jordan Lake have no protections from taking water by the gas industry.

- Siting natural gas infrastructure

Where will pipelines, tank farms, pumping and compressor stations be placed?
Gas storage wells: In some areas of the country, wells are drilled to store surplus natural gas until the price improves.
Deep injection wells: In some areas, wells are drilled for the permanent disposal of toxic wastewater.

- Air pollution

Methane and other VOC's released from drilling and trucks, storage tanks, flares, compressors, lagoons, pumps, pipelines etc. will increase ozone.

- B. Plans and Ordinances are so important to asserts and consolidate Pittsboro's control over its sustainable future.

Ordinances: Why these are important
The Pittsburg Ordinance
Creedmoor Ordinance

Websites: Food and Water watch:
<http://www.foodandwaterwatch.org/water/fracking/fracking-action-center/local-action-documents/>

Community Environmental Legal Defense Fund: CELDF.ORG
<http://www.celdf.org/section/php?id=39>

Mr. John Wagner, 210 Jessamine Lane, Pittsboro stated two final things: he would like for the Board to make an addition to the Land Use Plan that specifically addresses some of the issues about fracking and how Pittsboro doesn't want it to have an input on the Town. The second thing is we need an ordinance that protects Pittsboro and puts in as many safety rules as possible. If you read about communities that have adopted ordinances on fracking there are two basic approaches one is a series of regulations to control the hours the trucks can go,

the number of decibels of noise, the routes the trucks can take, what happens to the fracking wastewater those type things. If that is what the board would like to do they are willing to help with that.

Mr. Wagner said the better option is to ban fracking all together and there are communities that have done that. Surprisingly the bans work better in the court of law.

Sharon Garbutt – 595 Polk Berry Lane, Pittsboro just wanted to say fracking can only be where the shell is, she referenced a map, and said it is almost to the edge of Pittsboro’s ETJ. She encouraged the board to ban fracking altogether in Pittsboro.

INFORMATION SUBMITTED IS RECORDED IN THE BOOK OF RESOLUTIONS NUMBER ONE, PAGES 67-79

Bill Jackson – 4715 Westgate Road, Raleigh North Carolina, made the board aware of his company’s investment in Pittsboro and wanted to make sure the board was aware knowledgeable of the history. His company does not have a problem with the Land Use Plan. Their concern is where the road is going to be located since they have an approved plan they are concerned the road will be built to the benefit of Chatham Park Investors and to the detriment of their project and between their property and downtown businesses. He does not want the history of this project to get lost.

He is before the board tonight to remind them there is an outstanding issue as to where this road is to go. He is sure people will not want it put on the opposite side of downtown.

Motion made by Commissioner Fiocco seconded by Commissioner Farrell to go out of public hearing.

Vote Aye-5 Nay-0

OLD BUSINESS

Chatham Park LLC Rezoning Request REZ-2012-03

Planner Bass stated that Chatham Park LLC originally proposed to rezone approximately 187 acres of vacant, undeveloped property at the northeast quadrant of US 64 and US 15-501 from RA-2 to C-2. The Planning Board forwarded this proposal with a positive recommendation that the property be rezoned from RA-2 to C-2.

A public hearing was held on May 29, 2012.

Planner Bass stated the zoning request now is revised to show a 32.486 parcel out of the original tract proposed and the other small tract of .261 acre located between Suttles Road and 15/501. Total area for the rezoning case is now 32.747 acres. The site borders two major highways on two sides and is a reasonable location for such uses as allowed in the C-2 District. This is strictly a legislative rezoning request and all the possible uses allowed in C-2 would be permitted.

In addition, the petition for annexation for the specific acreage of the proposed rezoning has also been submitted.

Motion made by Commissioner Fiocco seconded by Commissioner Turner to table the rezoning request until the annexation process is completed.

Vote Aye-5 Nay-0

CHATHAM COUNTY REZONING REQUEST REZ-2012-05

Planner Bass stated Chatham County Government is proposing to rezone .69 acres on South Small Street from C-2 to O&I, specifically historic properties located at 50, 68, & 82 South Small Street. The structures were previously located where the new Chatham County Justice Center facility is currently being constructed, but were relocated to these lots instead of being demolished.

This location is also within the Town's National Register District (established May 5, 2000). Along with professional offices and institutional uses, a single family detached residence is a permitted use by right in the O&I District.

A public hearing was held on June 25, 2012.

The Planning Board forwarded this proposal with a positive recommendation for the proposed rezoning.

Motion made by Commissioner Fiocco seconded by Commissioner Foley to approve the rezoning request from Chatham County.

Vote Aye-5 Nay-0

The Ordinance reads:

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF PITTSBORO

WHEREAS, the Board of Commissioners of the Town of Pittsboro has considered the application of Chatham County to amend the zoning map of the Town of Pittsboro to rezone the property described on Exhibit A attached hereto and incorporated herein by reference from C-2 (Highway Commercial) to O&I (Office and Institutional) pursuant to the provisions of NCGS 160A-385 and Article X of the Town of Pittsboro Zoning Ordinance and finds that the amendment is consistent with the Land Use Plan of the Town of Pittsboro; and

WHEREAS, The Town Planning Board reviewed the application in detail, considered public comment and forwarded the request to the Town Board of Commissioners with a positive recommendation for approval; and

WHEREAS a Public Hearing was held on June 25, 2012 to solicit comments and concerns which were duly considered and acknowledged; and

WHEREAS, the Town Board of Commissioners makes the following findings and conclusions:

1. The subject parcels, located at 50, 68, and 82 South Street, Tax Parcel ID #'s 82057, 88598, and 82060 are located in an area that is adjacent and within close proximity to a mix of uses and zoning districts.
2. That the Board has examined the application and associated public testimony to rezone the property described in Application REZ-2012-05 and incorporated herein by reference and finds that the amendment is consistent with the Land Use Plan of the Town of Pittsboro and other applicable adopted plans, policies and documents.
3. The proposed rezoning is a reasonable location for those uses permitted in the Town's Office and Institutional zoning district and would be suitable for those uses permitted within the proposed district.
4. The proposed rezoning is reasonable considering the size and location of the tract and the potential impact to the surrounding community.
5. The proposed rezoning is in the public interest due to the increased opportunity for renovation of the historic structures that were moved to this location.
6. The location is subject to relatively low traffic volumes compared to other locations within the community.

BE IT RESOLVED by the Board of Commissioners of the Town of Pittsboro as follows:

1. That the property described on Exhibit A attached hereto and incorporated herein by reference and in Application REZ-2012-05 and incorporated herein by reference, be rezoned from C-2 to O&I.
2. That all ordinances and portions of ordinances in conflict herewith are hereby repealed.

AN ORDINANCE AMENDING THE ZONING ORDINANCE OF THE TOWN OF PITTSBORO IS RECORDED IN THE BOOK OF ORDINANCES NUMBER ONE, PAGES 32-33

SMALL TOWN MAIN STREET PROGRAM UPDATE

Paul Horne said the committee has taken a break for the summer. He discussed the façade grant program. He stated he would have something in place long before the Board's next meeting.

Commissioner Farrell asked if he could get in touch with some of the property owners about the program (he mentioned Second Bloom). Mr. Horne stated they were going to do that.

Commissioner Fiocco asked did he mean up and running or ready for the board's review. Mr. Horne said he would get the packets together and get them out to the businesses, he don't think we have to wait until the next board meeting he can get it out to the board for their viewing in advance..

Commissioner Fiocco said what he would like to do is to be a part of the discussion that structures the program where they decide how the money is spent. \$3,000 is a lot of money and he wants to make sure we spend it right.

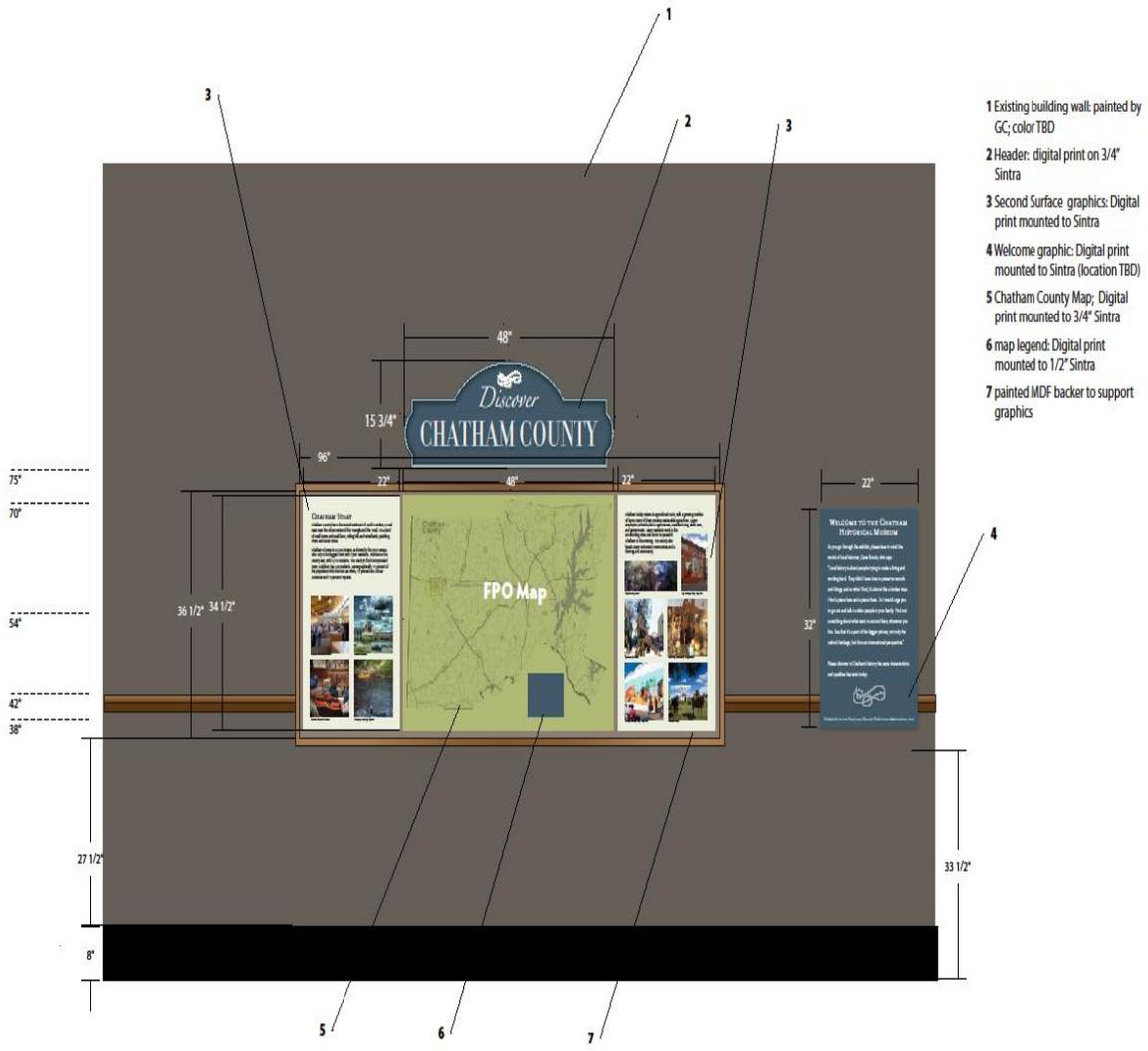
Commissioner Foley said she has received positive comments about the ABC renovations.

NEW BUSINESS

Presentation on the Chatham County Historical Museum

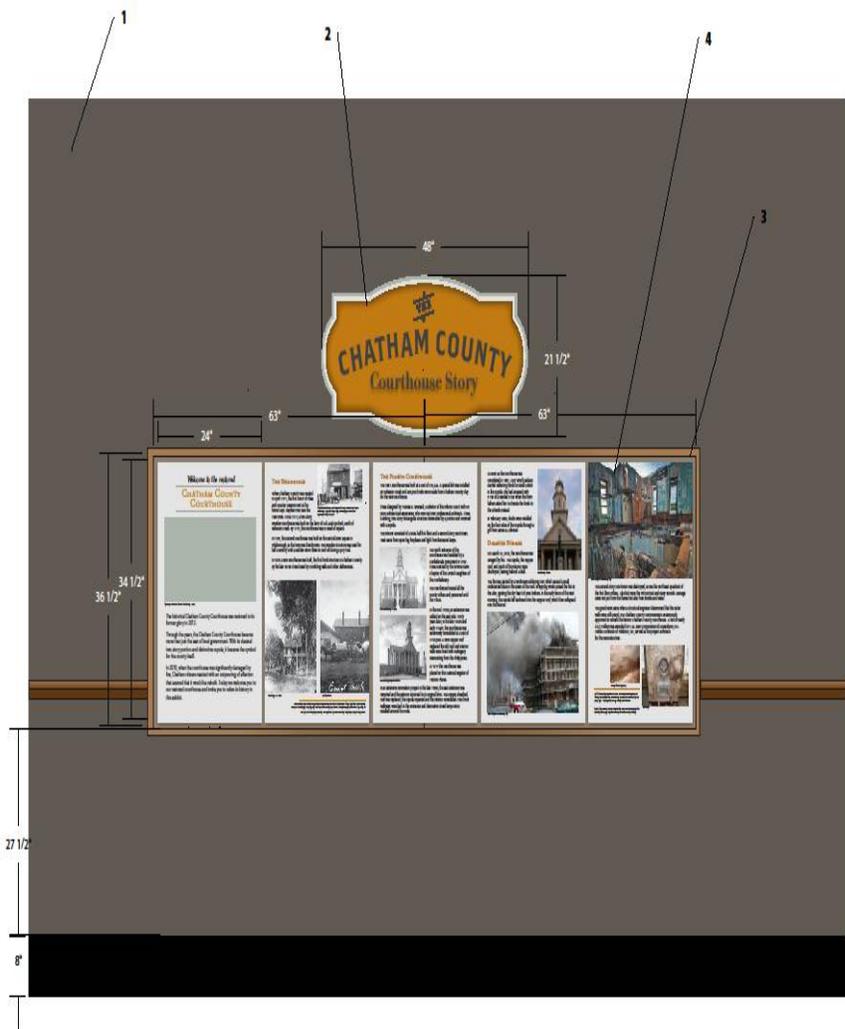
Ms. Barbara Pugh stated they appreciated the invitation to come and make the presentation to the Board and also for the Board putting funds in the budget for them this year. They started out working on this after the courthouse fire so they have been working on this over a year now. She stated Ms. Susan Little; Chairperson of the Exhibit Committee and Ms. Jane Pyle has been working very hard on this project.

Ms. Little assisted by Ms. Pyle went over the PowerPoint Presentation below.



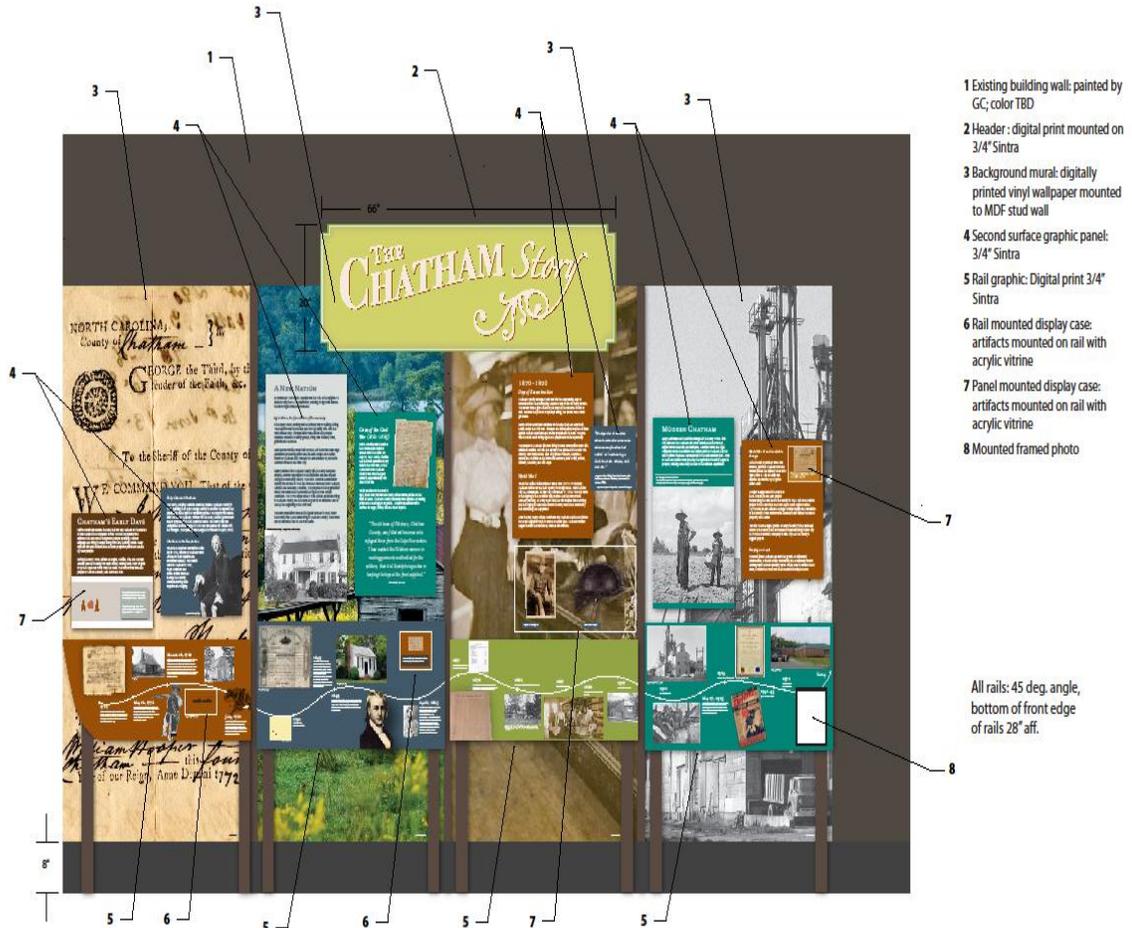
- 1 Existing building wall: painted by GC; color TBD
- 2 Header: digital print on 3/4" Sintra
- 3 Second Surface graphics: Digital print mounted to Sintra
- 4 Welcome graphic: Digital print mounted to Sintra (location TBD)
- 5 Chatham County Map; Digital print mounted to 3/4" Sintra
- 6 map legend: Digital print mounted to 1/2" Sintra
- 7 painted MDF backer to support graphics

	901 North West Street Raleigh, North Carolina 27603 919.828.1485	Chatham County Courthouse Pittsboro, North Carolina	Phase: Construction Documents	Date: 06.20.2012	Chatham Map in Hallway Flattened Elevation	Scale: 3/4" = 1'	Page: 8
	3"						



- 1 Existing building wall: painted by GC; color TBD
- 2 Header: digital print mounted to 3/4" Sintra
- 3 painted MDF backer to support graphics
- 4 Second Surface graphics: Digital print mounted to Sintra

design dimension inc. 901 North West Street Raleigh, North Carolina 27603 919.828.1485	Chatham County Courthouse Pittsboro, North Carolina	Phase: Construction Documents	Date: 06.20.12	History of the Courthouse Flattened Elevation	Scale: 3/4" = 1'	Page: 9
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design dimension Inc.	901 North West Street Raleigh, North Carolina 27603 919.828.1485	Chatham County Courthouse Pittsboro, North Carolina	Phase: Construction Documents	Date: 06.20.2012	Timeline Wall Flattened Elevation	Scale: 3/4" = 1'	Page: 2
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- 1 Existing building wall: painted by GC, color TBD
- 2 Header: 3/4" Sintra, digital print
- 3 Quote: cut vinyl applied to wall
- 4 Cutout figures: digital image applied to 3/4" Sintra, contour cut to figure shape
- 5 Cutout figures: MDF panel, contour cut to figure shape, painted black
- 6 Rail graphics: Digital print mounted to 3/4" Sintra, with audio listening devices
- 7 Second surface graphic panels: Digital print mounted to 3/4" Sintra



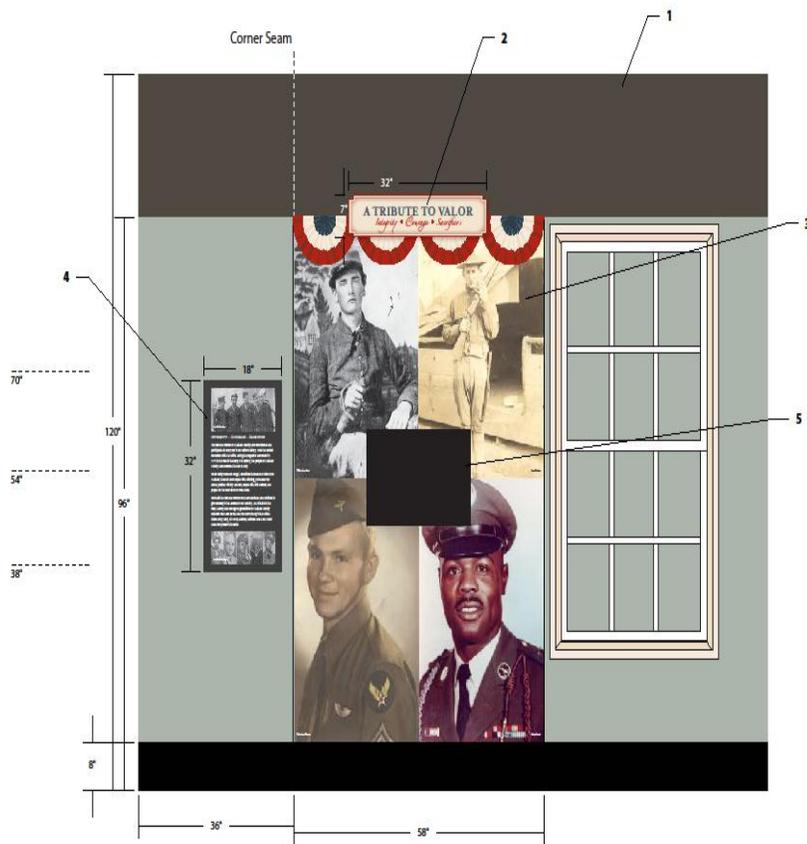
design dimension inc. 901 North West Street
Raleigh, North Carolina 27603 919.828.1485

Chatham County Courthouse
Pittsboro, North Carolina

Phase:
Construction Documents

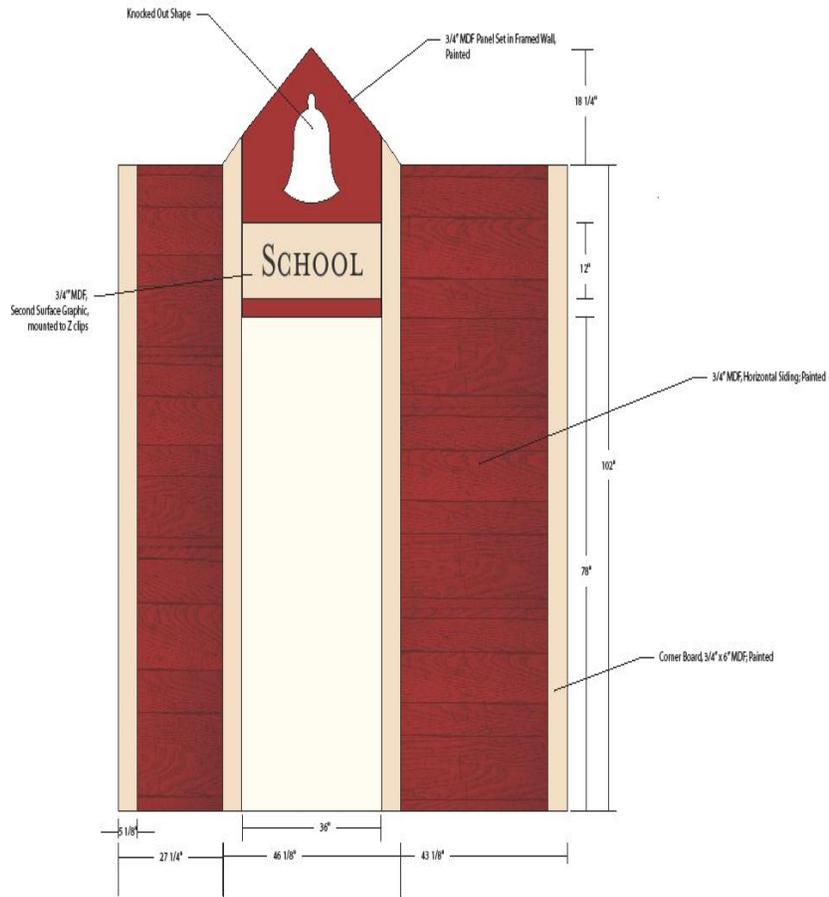
Date:
06.20.2012

Voices of Chatham
Elevation
Scale:
3/4" = 1'
Page:
3



- 1 Existing building wall: painted by GC; color TBD
- 2 Header: 3/4" Sintra, digital image
- 3 Background mural: digitally printed vinyl wallpaper mounted to MDF stud wall
- 4 Second Surface graphic panel: Digital print mounted to Sintra
- 5 Photo frame with slide show

design dimension inc. 901 North West Street Raleigh, North Carolina 27603 919.828.1485	Chatham County Courthouse Pittsboro, North Carolina	Phase: Construction Documents	Date: 06.20.2012	Voices of Chatham - Military Tribute Flattened Elevation	Scale: 3/4" = 1'	Page: 3
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design dimension inc.

901 North West Street
Raleigh, North Carolina 27603 919.828.1485

Chatham County Courthouse
Pittsboro, North Carolina

Phase:
Construction Documents

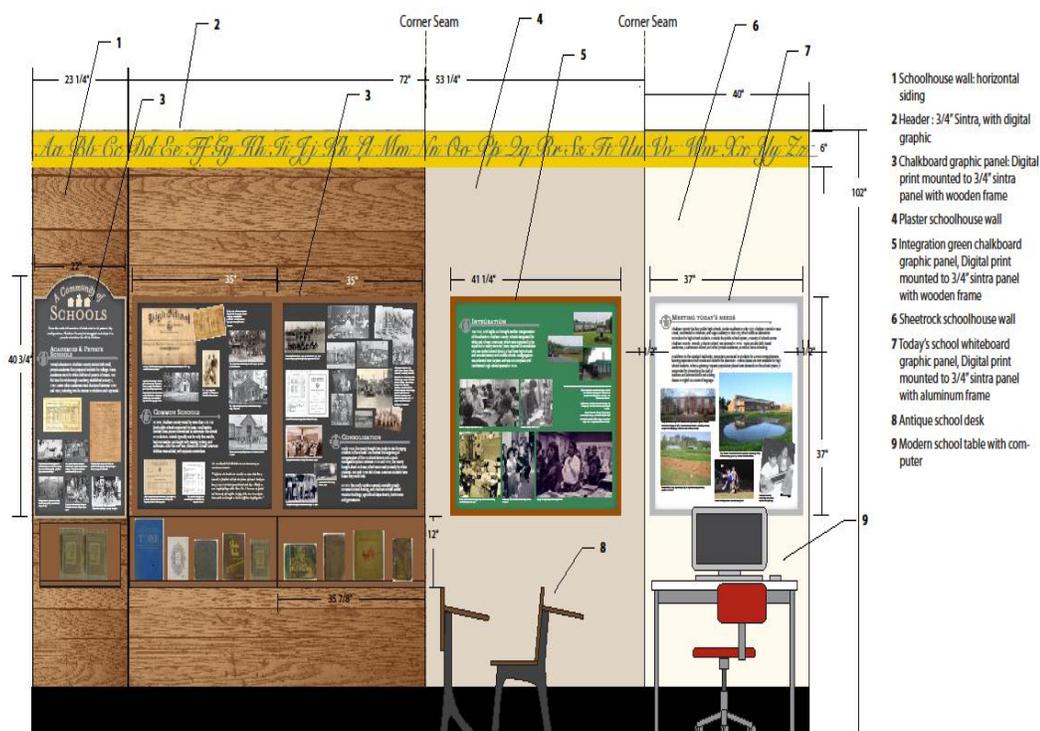
Date:
07.11.2012

School House
Flattened Elevation

Scale:
3/4" = 1'

Page:

Interior walls of school house:



- 1 Schoolhouse wall: horizontal siding
- 2 Header: 3/4" Sintra, with digital graphic
- 3 Chalkboard graphic panel: Digital print mounted to 3/4" sintra panel with wooden frame
- 4 Plaster schoolhouse wall
- 5 Integration green chalkboard graphic panel, Digital print mounted to 3/4" sintra panel with wooden frame
- 6 Sheetrock schoolhouse wall
- 7 Today's school whiteboard graphic panel, Digital print mounted to 3/4" sintra panel with aluminum frame
- 8 Antique school desk
- 9 Modern school table with computer

design dimension inc.

901 North West Street
Raleigh, North Carolina 27603 919.828.1485

Chatham County Courthouse
Pittsboro, North Carolina

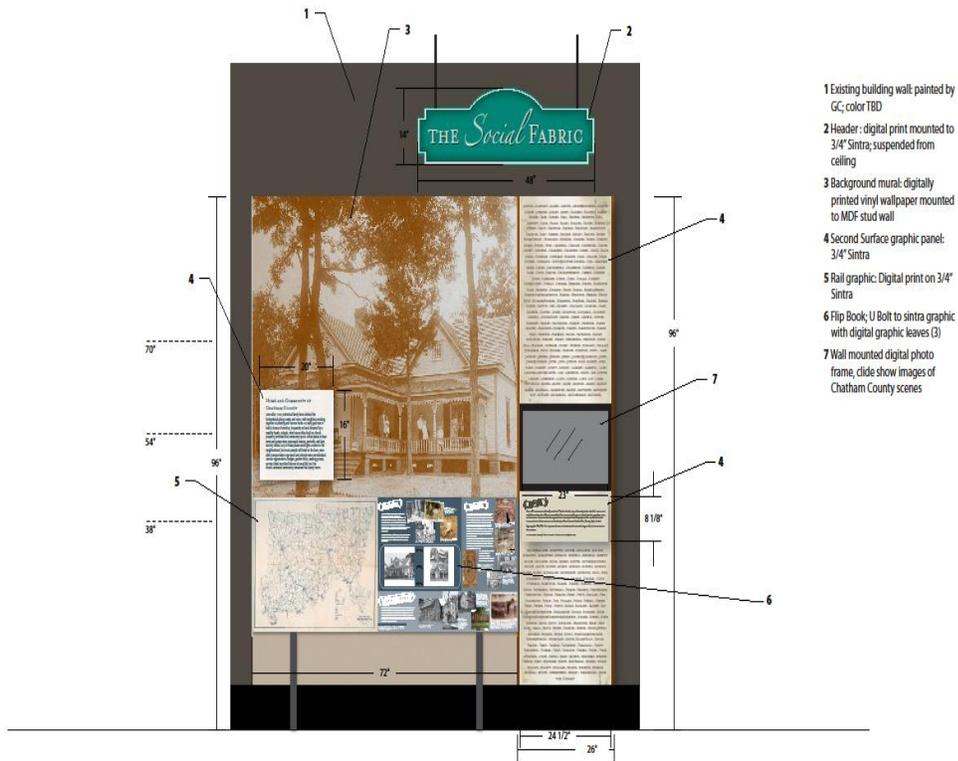
Phase:
Construction Document

Date:
00.00.2011

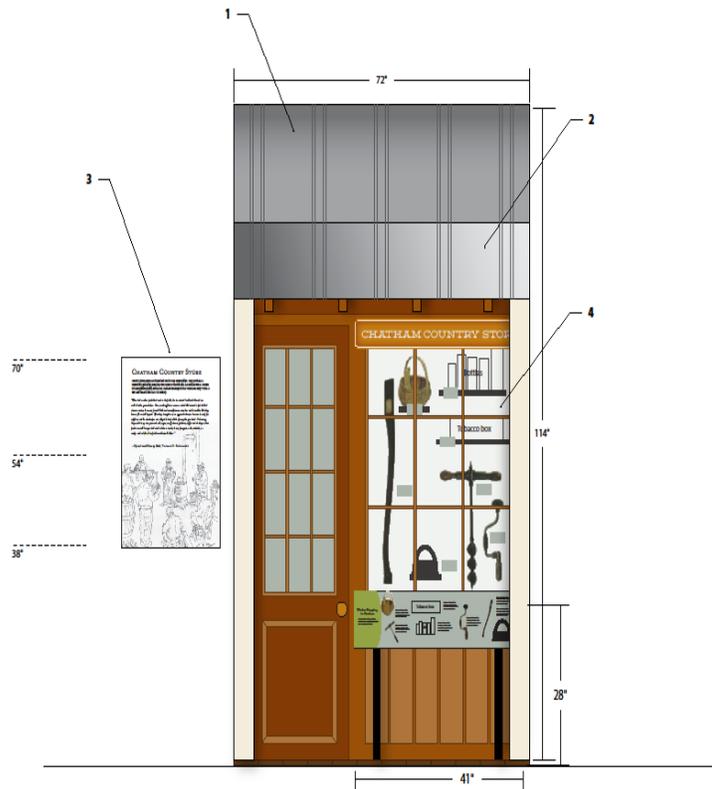
School House
Flattened Elevation

Scale:
3/4" = 1'

Page:



Design Dimension Inc. 901 North West Street Raleigh, North Carolina 27603 919.828.1485	Chatham County Courthouse Pittsboro, North Carolina	Phase: Construction Documents	Date: 06.20.2012	Social Fabric Flattened Elevation	Scale: 3/4" = 1'	Page: 5
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- 1 Store front vignette: see structural drawings 6B
- 2 Header: Built-up MDF, painted, with dimensional letters
- 3 Country Store graphic: Digital print mounted to MDF panel with painted edges black
- 4 Artifact case; artifacts with description tags

design dimension inc.

901 North West Street
Raleigh, North Carolina 27603 919.828.1485

Chatham County Courthouse
Pittsboro, North Carolina

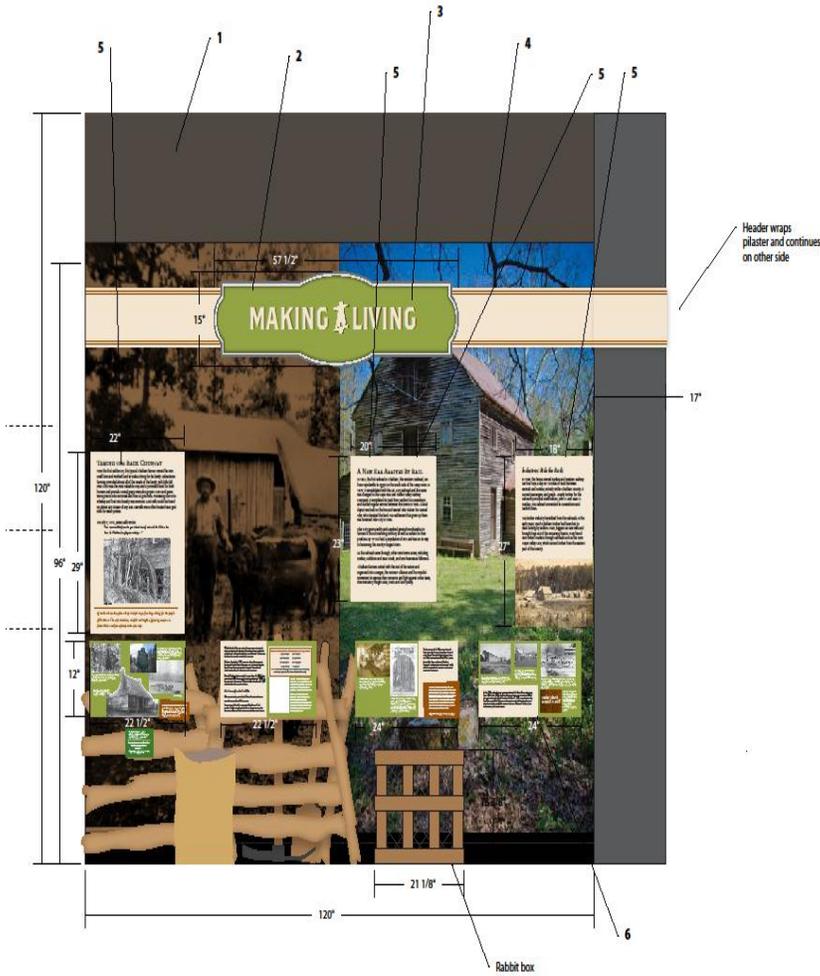
Phase:
Construction Document

Date:
00.00.2011

Chatham Country Store
Flattened Elevation

Scale:
3/4" = 1'

Page:



- 1 Existing building wall: painted by GC; color TBD
- 2 Header: 3/4" Sintra, router-cut and digitally printed graphics
- 3 Header band: digitally printed
- 4 Background mural: digitally printed vinyl wallpaper mounted to MDF stud wall
- 5 Second surface graphics: Digital print mounted to 3/4" Sintra
- 6 Rail graphic: Digital print mounted to 3/4" Sintra

Header wraps plaster and continues on other side

Rabbit box

design dimension Inc.	901 North West Street Raleigh, North Carolina 27603 919.828.1485	Chatham County Courthouse Pittsboro, North Carolina	Phase: Construction Documents	Date: 06.20.2012	Farming and Agriculture Flattened Elevation	Scale: 3/4" = 1'	Page:
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- 1 Existing building wall; painted by GC; color TBD
- 2 Header band: 3/4" Sintra
- 3 Background mural: digitally printed vinyl wallpaper mounted to MDF stud wall
- 4 Second surface graphics: Digital print mounted to 3/4" sintra
- 5 Rail graphic: Digital print mounted to 3/4" Sintra
- 6 Rail graphic: Digital print mounted to 3/4" sintra, with digital picture frame built into rail

design dimension inc.

901 North West Street
Raleigh, North Carolina 27603 919.828.1485

Chatham County Courthouse
Pittsboro, North Carolina

Phase:
Construction Document

Date:
07.11.2012

Business and Industry
Flattened Elevation

Scale:
3/4" = 1'

Page:

The board thanked them for bring the presentation to the board and also for all their hard work.

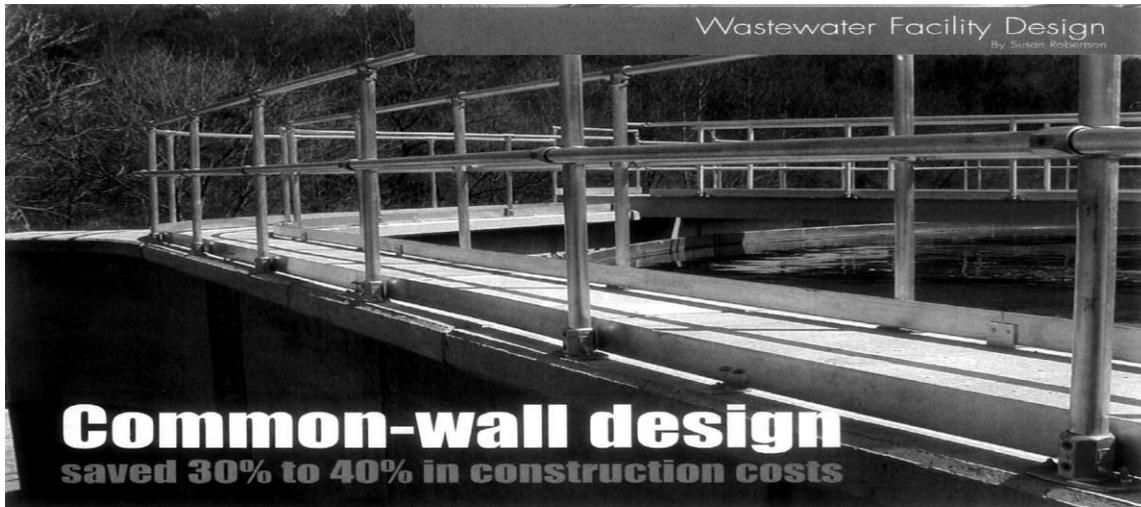
Presentation on Alternative Technology for Wastewater Treatment Plant Construction. (Scott Harper, McNeill Water & Waste Water, Inc.)

Manager Terry reported that The McNeill Company is not an engineering design firm and is not a general contractor for wastewater plant construction project; they are best described as a provider of materials for a specific wastewater treatment technology. If the Town is interested in using this technology, it would still be necessary to hire an engineering firm to do the plant design and a general contractor to complete the construction project.

One advantage of using the modular and scalable technology offered by McNeill is that the construction cost per gallon to be treated may be reduced by 30% to 40% from traditional design-bid-build construction methods. For the Town of Pittsboro, this means that a project originally estimated at about \$35,000,000 could be reduced to about \$23,000,000. If that project were divided into two phases providing 1.6 MGD in new capacity for each phase, the cost of the first phase could be as low as about \$14,000,000 with a second 1.6 MGD phase to follow in about five years for an additional \$9,000,000. The cost is somewhat front-loaded toward phase I to account for design and site preparation costs that would be incurred as part of phase I.

The cost estimates cited above are scoping estimates only and are intended to give the Board a general idea of how the Town might be able to afford to proceed with construction of a new 3.2 MGD Wastewater Treatment Plant using a phased approach and technology that is more cost effective than the traditional design-bid-build construction method. A more precise cost estimate will require the work of the engineers that are ultimately selected to accomplish this work. These estimates do not include the cost of administrative offices or laboratory space.

Information presented:



Common-wall design saved 30% to 40% in construction costs

The patented Hexa-Ditch wastewater plants deliver savings in construction, process piping and energy costs for small communities.

The Claiborne County Utility District in Tazewell, Tennessee, USA, saved up to US\$ 2.7 million when building its new wastewater treatment facility. Long-term savings in future expansion costs, necessary process piping and energy costs will further increase possible savings.

One year ago in February 2004, the Utility District went online with its new Hexa-Ditch treatment plant. The patented plants use a common-wall design, which allows for a less expensive expansion when needed. The average daily flow in the district is four million gallons per day (mgd), but the plant had a capacity of 1.3 mgd. In addition, the treatment plant saved the Utility District 30% to 40% on initial construction of the structure, 75% to 90% on process piping, and will help save the district up to 70% on energy costs.

"To expand our old plant, the prices on a single facility were estimated at \$3 million to \$4.5 million," Carl Doane, general manager of Claiborne County Utility District, explained. "This plant cost us \$1.8 million and really has its advantages. Typically the tanks are round, but this one isn't, so when you need to expand, it's a lot more cost-effective," he added.

The Hexa-Ditch design, which is six-sided rather than round, was developed by W. B. (Sonny) McNeill Jr., who has installed 600

Hexa-Ditch and Quad treatment plants in the southeastern USA, Bahamas and Haiti. "You have a 650,000 gallon tank producing 8.33 pounds per gallon, so you are looking at over five million pounds of water and getting it moving," McNeill said. "In addition to saving by using common walls, you are going to see energy savings."

The district signed a design-build contract with SKH Construction to install the plant in Tazewell," McNeill explained: "this is a design we have worked with constantly. We have built 600 treatment plants and have the benefit of having learned from our mistakes."

The new treatment plant in Claiborne County is the first Hexa-Ditch design that uses a mono-directional aerator. The mono-directional aerator features a C-shaped radial beam that stiffens the unit and distributes operating loads while providing hydraulic channelling of the pumped liquid. The liquid straightens as it exits the deflector, changing the course of the liquid to a flatter dispersion pattern. This course reduces aerosols and misting. The construction also has no potential leaking points caused by bolt or other penetrations.

The McNeill-designed plants are not only cost efficient when it comes to expansion, but longevity of the structure itself is also a plus. The structure is made of concrete and features aluminium handrails and walkways, and all

parts of the mono-directional aerator are stainless steel.

The construction of a new wastewater treatment facility allows the Utility District to provide expanded service in Claiborne County. Harrogate city officials failed to get a wastewater permit from the State of Tennessee because there was no discharge point, but the facility that they could get a permit to build would have been very expensive. So the Claiborne County Utility District stepped in and offered to help.

"We installed an eight-inch force main along Highway 25E," Doane said. "The outside cost to provide wastewater service was going to be about \$1.6 million. We looked at the abilities of our own people to see if we could do it. That kind of money for Harrogate is too much, so we looked at it and estimated it would cost about \$400,000 for us to install a force main that would carry the wastewater to our treatment facility."

The district installed about 42,000 feet of pipe and three large pump stations along the force main. During the same time the work was going on to run the main from Harrogate, two new high schools were being constructed in the county, with one being in Harrogate. Outside contractors estimated a cost of between \$300,000 and \$400,000 to run wastewater service from the high school. However, the district added to its force main project by running a four-inch line from the high school and building two pump stations to the newly installed eight-inch line for less than \$200,000. ■

February/March 2005 / www.wwaterinternational.com / 31 |

Form, Features Combine To Produce Treatment Efficiencies At McNeill's Plant In Kissimmee

By DAVE HODGES
Managing Editor

A plant treating wastewater west of Kissimmee may be redefining the old design admonition that form should follow function.

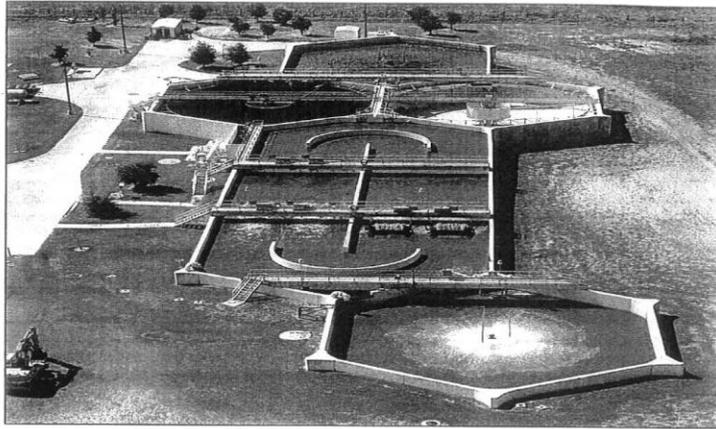
The principal at work in the 1.86-mgd facility is a poured-in-place, hexagonal-shaped tank scheme in which stages of the plant share walls and many of the mechanical components are fabricated off site. City personnel say the plant's ease of operation is matched by impressive treatment levels and an effluent quality that is high even before final filtration.

In July, the City of Kissimmee's Sandhill Road Wastewater Treatment Plant will mark three years of operation, during which time the McNeill Co. "Hexa-Ditch" patented design has proven to require about half the electricity consumed per month by the city's Kissimmee West plant.

W.B. McNeill, president and owner of McNeill Co. Inc., said the \$4 million Sandhill Road plant is averaging a flow of just under 1 mgd with busy weekends at area tourist attractions helping to create peaks of 1.2 to 1.3 mgd. Due to the efficiency of the variable speed aerators, the oxidation ditch averages 27 brake hp.

The design also required less land area, less concrete and less yard piping than comparable circular-tank layouts. And because there are fewer pumps, there's less to go wrong, said Ed Scott, Sandhill Road's chief operator. Another attribute is the plant can easily grow as needed. "You can just add right on to it," he noted.

That expansion, in fact, is already



Twenty-month effluent test results, before filters, averaged 2.02 ppm for 5-day BOD and 1.64 ppm for TSS.

prepared for: 15% of the slab and 50% of the walls are in when a second oxidation ditch is built, as is planned in a couple of years. McNeill constructed the plant with electrical conduit and yard piping in place for the next three expansions.

A sludge thickener could help the current digester go to 2.2 mgd from 1.86, McNeill said. "Right now, it's the digester that limits the rated capacity of the plant."

Not quite three years old, the Sand

Hill Wastewater plant has had ample time to prove itself for the City of Kissimmee Utilities Department, which provides most of Osceola County's water and sewer service.

Based on monthly figures from July 1992 to February 1994, the plant's average 5-day BOD was 2.02 ppm and TSS was 1.64 ppm for settling results. Filtering reduced TSS further to an average of 0.629 ppm.

Various design elements are contributing to the performance, McNeill

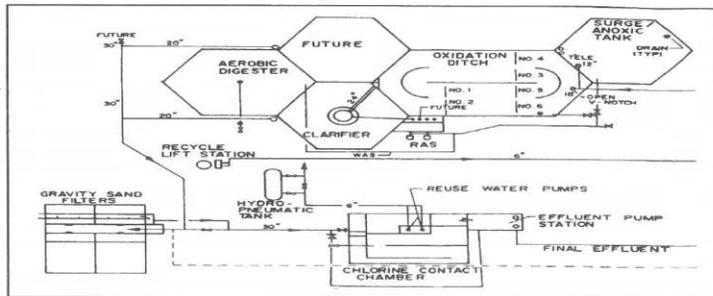
explained. One is the hydraulically driven floating "OTA Aerotors" from Scofi-Zahner of Columbus, TX. These variable-speed units are equipped with 7-foot-long fiberglass rotors mounted on chrome-plated steel shafts.

To achieve the right balance between horsepower and DO transfer, the Sandhill plant operators have found that the optimum rotor speed is 70-75 rpm for best results. The rotors function so as to grab the water with the lowest DO level on the inlet side. Unlike fixed brush aerators, no control gates or weirs are necessary for maintaining the Aerotors' submergence levels.

Another performance feature turned out to be the hexagon ditch itself, particularly the corners. When the wastewater hits that first angle, effluent from the bottom of the tank churns upward and mixes with the upper level, where the DO is higher. McNeill said a portable dissolved oxygen meter was used to check that mixing at various points around the ditch and the results were the same each time—DO readings were highest at the mid-point depth.

"There were very consistent DO readings wherever we took them, so the (hexagonal) design is contributing to the process," he added.

Because the tanks have common walls, piping connections between them are much easier. The surge tank at one



The patented Hexa-Ditch design incorporates poured-in-place tanks that share walls and help simplify plant expansions. U.S. Patent 5,110,465.

end of the layout can also function as an anoxic tank if necessary.

Effluent from the plant passes through three deep-bed sand filters and a chlorine contact chamber before moving on to a storage tank that feeds six rapid infiltration basins a short distance away.

Tallahassee-based McNeill Co., which has built more than 500 wastewater treatment plants since 1964, has a number of patents on the Hexa-Ditch design and plans to grant exclusive licenses to other firms interested in

building the plants.

In terms of cost, the Hexa-Ditch plant is not as appropriate for small systems (< 1 mgd) as it is for larger ones. McNeill is marketing the design to plants starting at 1 mgd or more, and notes that the Hexa-Ditch's cost per gallon begins to fall as plant capacity rises.

McNeill said the Hexa-Ditch is most workable for systems who are facing growth situations and know they'll have to expand.



Water and Wastewater Treatment Equipment

P.O. Box 5618, Tallahassee, Florida 32314
(904) 877-7102 • 1-800-634-6543 • Fax (904) 878-7901

McNeill PROJECT
PEARL RIVER COMMUNITY
WASTEWATER TREATMENT FACILITY



Owner: Mississippi Band of Choctaw Indians
100 Utility Circle
Philadelphia, Ms 39350

Category: Indian Reservation - Hotels, Casinos,
Light Manufacturing Facilities

Engineer: Jim Meridith, P.E.
4056 Brandywine Pointe Blvd
Old Hickory, Tn 37138

Design: 1.5 MGD McNeill Concrete Poured in Place "Hexa-Ditch" Grit and Grease Removal, U.V. Disinfection, Post Aeration, Sludge Drying Beds.

Construction Date: Original Plant 1997 Expansion 2001

Mr. Jack Chapman, McNeill Water and Wastewater stated he has a file on Pittsboro going back since 2004 so he has been looking at Pittsboro for some time. McNeill has done a lot of design work in the southeast. They have done projects for Aqua North Carolina and other private projects.

Mr. Chapman said the common wall construction units which are normally round and they allow for less expensive expansion when needed. They wanted to bring it before the board for consideration. He also went over the slides above.

Brown and Caldwell Proposal for Preparation of NCDENR Finance Section Funding Application for Wastewater Treatment Plant Upgrades. (Fred Royal, PE, Brown and Caldwell

Manager Terry reported that we received a letter from Fred Royal, PE of Brown and Caldwell Engineering for an unsolicited proposal offering engineering consulting services to prepare a loan/grant application for about \$5,400,000 for a Wastewater Treatment Plant Upgrade Project.

Since this proposal was first brought to his attention at about noon on July 18, 2012, He has not had sufficient time to prepare a complete staff analysis of the proposal; however, he has shared the proposal with Utility Director John Poteat and Wastewater Superintendent Randy Heard. Based on our discussions, he would offer the following observations:

1. The staff does not support spending \$5,400,000 upgrading a wastewater treatment plant that we plan to replace with a new plant in the next 3 to 5 years.
2. Pursuit of this course of action would be a de facto statement on the part of the Town of Pittsboro that we have abandoned any plans to pursue the construction of a new 3.22 MGD Wastewater Treatment Plant.
3. If the Town of Pittsboro would like to pursue a borrowing from the NCDENR Finance Section (State Revolving Loan fund) the next most important project would be completion of the Downtown Water System Improvement Project, not additional upgrades at the Wastewater Treatment Plant.
4. The debt service on a 20-year, 0% interest, \$5,400,000 loan would be \$270,000 per year. In view of the fact that our last two operating budgets have not had sufficient Enterprise Fund revenues to cover existing debt service, it is highly unlikely that the Local Government Commission would approve a borrowing of \$5,400,000 for the Town of Pittsboro.

Fred Royal stated he is a town resident, a licensed engineer in the State of North Carolina and a member of the Town's Citizens Grant Committee and they have been involved in looking for small grants. In his research he started looking at larger grant opportunities. Mr. Royal stated he works for Brown and Caldwell out of Raleigh and that his co-worker Tommy is here with him tonight.

Mr. Royal said the State Revolving Fund has a program administered through DENR that loans money to local governments continuously. What he found out in his research is that Pittsboro qualifies for not only low interest loans of 2%, but we also qualify for 0% loans. He said we also qualify for "free money" which is a grant that we don't have to pay back.

Mr. Royal said to qualify for funding, the Town must first submit a North Carolina Water/Wastewater Common Application Form for a specific project. Applications are accepted twice a year in March and September. Once the applications are received, the staff at the infrastructure Finance Section determines the suitability of projects for funding.

He would recommend submitting an application for a project to upgrade the Pittsboro WWTP to meet the 2016 nutrient reduction standards established by the Jordan Lake Rules and the Robeson Creek total maximum daily load (TMDL) in a way that aligns with future expansions to meet projected service area growth.

Fred Royal made the following PowerPoint presentation:

SRF Financing Options for Pittsboro CIP Projects

Pittsboro Town Council Meeting | July 23, 2012

Brown
AND
Caldwell

1

SRF Funds 2 Types of Eligible Projects:

- Drinking Water SRF
- **Clean Water Infrastructure SRF**



2

SRF Provides 3 Financing Options:

Low Interest Loan
(~50% of market rate;
currently ~2%)

Good.

0% Loan
(No Interest Fees)

Better.

Principal Forgiveness
up to \$1M
Available 2012 – 2013
(Grants / “Free” Money)

Best.

3

Financing Qualification Process

Ranked against other local governments applications.

- Water reuse programs
- No capacity increases
- Replacing septic failure areas
- Environmental benefits
- Asset management
- Etc.

CWSRF Integrated Priority Rating System For all CWSRF projects			
Line Item #	Project Type	Points	Max Total Points
<i>(Points are given for only one type of project per funding application)</i>			
2	WASTEWATER TREATMENT AND COLLECTION SYSTEM PROJECTS		30
1.1	WWTP - New construction or expansion projects The WWTP is a major facility in a Tier 3 county: 1. Does the applicant have a reclaimed water system that is actively distributing >100,000 gpd? YES NO (Circle One) 2. Will the project include reclaimed water that will use 100,000 gpd (must have consentment letters from users)? YES NO (Circle One) Subtract 2 points if answered "no" to both questions.	5	
1.2	WWTP approved for reclaimed water distribution? 1. Is the WWTP approved for reclaimed water distribution? YES NO (Circle One) 2. Will the project include meeting reclaimed water standards? YES NO (Circle One) Subtract 2 points if answered "no" to both questions.	-2	
2	WWTP REPLACEMENT/REHABILITATION that would not increase service area capacity.	-2	
2.1	Replacing WWTP infrastructure that is greater than 20 years old.	15	
3	NEW SEWER LINE EXTENSION that primarily serves areas with failing septic tanks (discharges (NCS50000), or single-family residence spray / drip irrigation systems).	5	
4	EXPANSION OF EXISTING SEWER LINES	20	
5	COLLECTION SYSTEM REPLACEMENT/REHABILITATION (pump station/force main/drainage sewer) that would not increase capacity.	5	
5.1	Addresses infiltration/inflow (I/I) for a watershed based on a SSES.	20	
5.2	Addresses reported sanitary sewer overflow (SSO).	2	
5.3	Replaces sewer infrastructure that is greater than 40 years old.	3	
6	GREEN PROJECTS		
6.1	Stream restoration project (includes wetlands).	5	
6.2	Stream restoration project that restores the natural hydrology of the watershed rule requirements.	15	
7	STORMWATER project that addresses treating existing sources of pollution stormwater management or BMPs in series that achieves at least 35% runoff reduction (both TN and TP) and 80% TSS reduction.	10	
7.1	Stormwater project that addresses treating existing sources of pollution stormwater management or BMPs in series that achieves at least 35% runoff reduction (both TN and TP) and 80% TSS reduction.	5	
8	RECLAIMED WATER project where no reclaimed water system exists.	15	
9	RECLAIMED WATER project where a reclaimed water system is being expanded.	10	
10	ENERGY EFFICIENCY project at a WWTP or other wastewater infrastructure strictly to achieve a minimum 20% energy reduction.	5	

4

Pittsboro is well positioned for principal forgiveness or 0% financing.

High-scoring eligible programs already in place.

- ✓ Land Use Plan
- ✓ Water Conservation Rates or Reclaimed Water
- ✓ Capital Improvement Plan
- ✓ Flood Hazard Prevention Ordinance
- ✓ Socio-Economic Position * *

5

Pittsboro's apparent socio-economic position qualifies for principal forgiveness of up to \$1 M.

Median Household Income (MHI)

Poverty Rate

Current Sewer Rates

6

Selecting a Project Based on Your Priorities

Pittsboro CIP Categories	Principal Forgiveness	0% Interest	Low Interest
Water Distribution		✓	✓
Water Treatment		✓	✓
Wastewater Collection / Sewer	✓	✓	✓
Wastewater Treatment	✓	✓	✓

7

SRF Process Overview

Application submittal date starts the clock on a ~three-year program. Key milestones include:

4 months	Submit Preliminary Engineering Report (PER)
18 months	Submit Plans and Specs
22 months	Town Issues Notice to Proceed for Construction and may begin issuing invoices for SRF reimbursement
Approx. 3 Years	First debt service payment due

9

Starting the SRF Process

Complete the common application

- Annual due dates: September 1 and March 1

NCDENR Approval

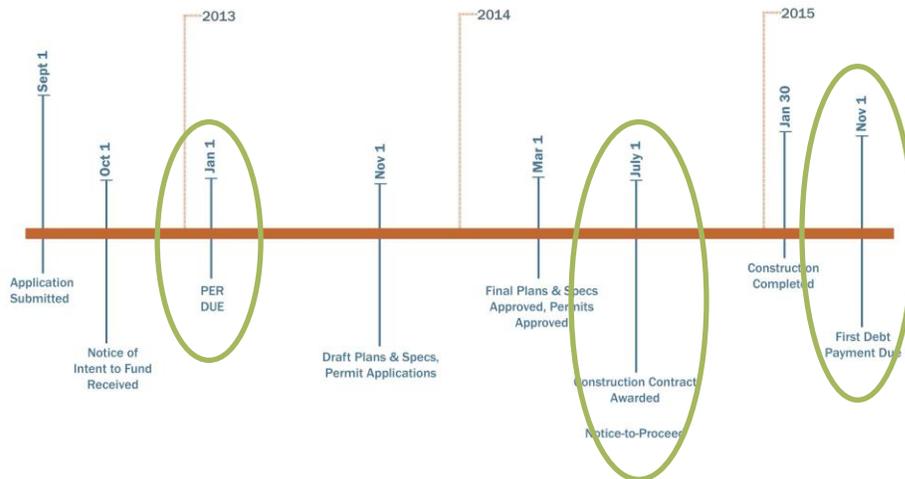
- Within 30 days; subject to LGC approval

Local Government Commission (LGC) Approval

- Financial assessment

8

SRF Sample Schedule



- Approximately a 3-year process
- 2% Closing Fee due at time of Construction NTP – this is a budget consideration

10

Consider finance eligibility in project selection.

- Pittsboro CIP Goal: Increased WWTP Capacity – 3.22mgd
- WWTP Capacity expansions not eligible for principal forgiveness

One-phase expansion to 3.22mgd

- Low interest loan

Two-phase approach

- Principal forgiveness

11

Case Study | Two-Phase WWTP Expansion

Town's Goal: 3.22 mgd

Phase 1: Upgrade Existing or Build New 0.75 mgd

- Lower Cost / Affordable
- Best financing
- Meets Jordan Lake Rules as required

Phase 2: Complete 2.47 mgd expansion when demand warrants

12

Other CIP Project Options Eligible SRF Funding

- Wastewater Collection / Sewer Improvements
 - Fire Tower Trunk Line
- Public Water Supply Distribution
 - Old Graham Water Main Loop
 - Downtown Water Improvements
- Public Water Supply Treatment
 - Haw River Intake

13

Why is SRF beneficial for Pittsboro?

- Principal forgiveness monies available now
- Eligible socio-economic position
- Favorable integrated priority rating score
- CIP presents multiple project options

14

Questions?

Thank you for having us!

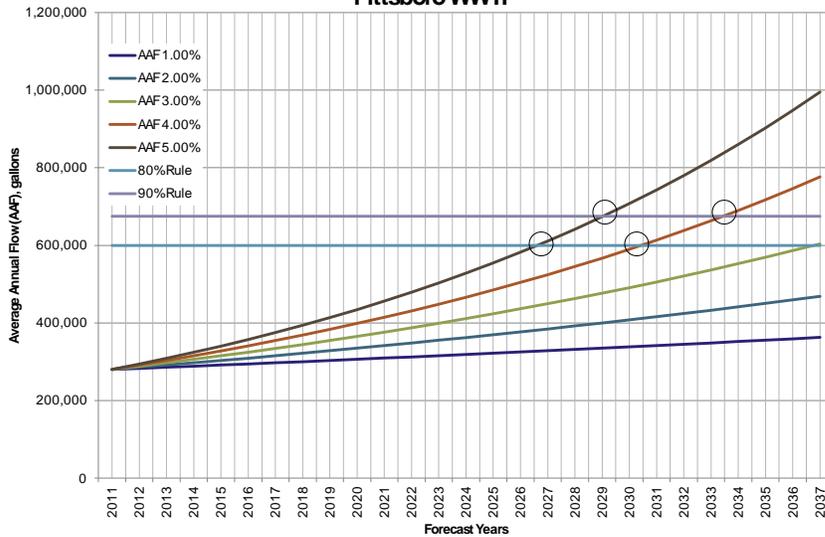


15



Wastewater Flow Forecasts

Flow Forecast Scenarios
Pittsboro WWTP



Brown and Caldwell | Footer | Date

17

Mr. Royal stated the debt payment will begin six months after construction is completed.

Commissioner Farrell asked could we get funding for work at the Haw River Intake that needs to be done. Mr. Royal said yes, but that is from a different section and he doesn't know if principle forgiveness is available for the water side.

Mayor Voller said it is more in line for wastewater projects. Mr. Royal said yes.

Manager Terry we have the Downtown Water System Project sitting on the shelf maybe we can pursue funding for that.

Commissioner Foley said we need to meet and establish a list of priorities since we have so many small projects.

After much discussion the board agreed that Manager Terry and Ms. Cartrette would make a call to LGC to see if we could qualify for the monies. Manager Terry said he will make the inquiry tomorrow by email and maybe he will get an answer back tomorrow and he will forward the answer to the Board.

Mayor Voller said to ask the question of what we need to do to qualify for the grants.

**WASTEWATER ALLOCATION REQUEST, RANDOLPH DEVELOPMENT GROUP,
LLC (BOJANGLES RESTAURANT).**

Planner Bass stated this request is based on the policy the Board adopted on December 12, 2011. They are requesting an allocation of 3,000 gallons of wastewater capacity to construct a Bojangles Restaurant. This is the second request we have received since the policy was adopted.

Mayor Voller asked isn't this part of the AAC property that was approved with a SUP Master Plan Development in 2008. Planner Bass said that was correct.

Mayor Voller said the annexation didn't occur because the project did not begin. He wanted to know how that would work since it is zoned C-2 Conditional Use.

Planner Bass said he believes we will have to come up with a specific SUP for this.

Patrick Bradshaw said the property is zoned C-2 Conditional Use. He said AAC came in and requested that zoning for all the property they owned which was something in the neighborhood of 50 acres. What his clients are talking about is approximately 2 acres at the southeast corner of the intersection of 15-501 and Russet Run. AAC has financed their purchase of that property and that mortgage has now been foreclosed. So a new Limited Liability Company established by their lender Regions Bank was the purchaser of all the property that AAC owned in foreclosure.

He stated Randolph Development Group has contracted to purchase only the quadrant at the southeastern corner of the intersection of Russet Run and 15-501 and they are not prepared to come in with a development plan for the entire property that AAC previously owned.

Mr. Bradshaw said he suggested to them and he has talked with Mr. Bass about requesting a SUP for that portion which would be the only way they could do this project. They intend to bring that application to the Town in August.

He said in 2008 AAC did apply for an irrevocable petition of annexation for all of their property. It was a condition of their SUP that the property would be annexed at the time of the first certificate of occupancy for their property was issued. Of course his client is prepared to do whatever is appropriate to have the property annexed if their plan for this development is approved.

After further discussion on the matter a motion was made by Commissioner Baldwin seconded by Commissioner Fiocco to approve the request from Randolph Development Group for a wastewater allocation of 3,000 per day.

Vote Aye-5 Nay-0

DRAFT BIG BOX ORDINANCE

Motion made by Commissioner Fiocco seconded by Commissioner Baldwin to table this until the August 13, 2012 meeting.

Vote Aye-5 Nay-0

RESOLUTION AUTHORIZING THE DISPOSITION OF SURPLUS PROPERTY

Manager Terry said in two years and three months, we have gone through three different K-9 Officers and have only achieved brief periods of effectiveness in operating a Police K-9 program. He is in agreement with Chief Collins that the cost/benefit equation for this program does not warrant a fourth attempt to train and certify a K-9 handler. He recommends that the K-9 program of the Pittsboro Police Department be terminated and that the dog be declared surplus property. With the concurrence of the Board of Commissioners, they will find the dog a home with a K-9 program in another North Carolina law enforcement agency or, if that fails, offer the dog for sale at auction.

Manager Terry said his first preference is to get the dog with another K-9 program in North Carolina. We have a police officer that is a former K-9 Officer, Melissa Starr who has agreed to keep the dog at her home until we can find the dog a home, if the board wants to sign the dog over to her and she would be responsible for finding it a good home somewhere.

Motion made by Commissioner Fiocco seconded by Commissioner Farrell to surplus "Kilo" and to try to find another law enforcement agency with a K-9 program and if we can't find a law enforcement agency that ownership of the dog be transferred to Officer Melissa Starr so that she can find it a good home somewhere.

Vote Aye-5 Nay-0

Resolution reads as follows:

A RESOLUTION DECLARING THREE (3) ITEMS OF PERSONAL PROPERTY TO BE SURPLUS PROPERTY, AND AUTHORIZING AND DIRECTING THE DISPOSAL OF SAID PROPERTY IN ACCORDANCE WITH STATUTORY REQUIREMENTS

WHEREAS, Article 23 of N. C. General Statutes and Chapter 2, Article III of the Town Code of Ordinances authorizes the Town Manager to dispose of surplus property; and

WHEREAS, the Town desires to dispose of certain items of personal property;

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the Town of Pittsboro that the following items of personal property are hereby declared surplus:

Descriptions:

One (1) German Sheppard Police Dog; Spayed Female; Name: Kilo; Age: five (5) years.

Two (2) Chain link fence dog kennels, 10 ft. wide, 10 ft. long, 6 ft. tall.

BE IT FURTHER RESOLVED that the Town Manager shall be and is hereby authorized to dispose of this surplus personal property in accordance with statutory requirements.

BE IT FURTHER RESOLVED that prior to public auction, the Town Manager is authorized to dispose of any of personal property by sale, lease, exchange, sealed bid, or transfer to other government unit in conformity with N. C. General Statute 160A-274.

BE IT FURTHER RESOLVED that the terms of the sale shall be to the highest bidder for cash, or other forms of cash equivalents acceptable to the Town Manager. All sales shall be designated final on the day of the auction.

BE IT FURTHER RESOLVED that all items shall be sold on an “as is” and “where is” basis and the Town makes no guarantee or assumes no responsibility for any of the items.

A RESOLUTION DECLARING THREE (3) ITEMS OF PERSONAL PROPERTY TO BE SURPLUS PROPERTY, AND AUTHORIZING AND DIRECTING THE DISPOSAL OF SAID PROPERTY IN ACCORDANCE WITH STATUTORY REQUIREMENTS IS RECORDED IN THE BOOK OF RESOLUTIONS NUMBER ONE, PAGE 80

CAPITAL PROJECTS REPORT

Manager Terry stated he had a few quick things. Hillsboro Street Project July 23, 2012: A final coordination meeting was held on July 18, 2012 in preparation for the formal pre-construction meeting on August 1, 2012. The purpose of this meeting was to bring together all agencies that may be affected by the conduct of this project including the project engineer, the contractor, Pittsboro Fire Department, Pittsboro Police Department, Chatham County Public Works, Pittsboro Finance Department, Pittsboro Planning Department, Pittsboro Utility Department. The formal pre-construction meeting cannot be convened until NCDOT approves the contractor’s traffic control plan. We are optimistic that this will take place before August 1, 2012.

He stated he is waiting on final approval from the Rural Center to replace the generators at the WWTP and that McGill and Associates will be at the August 13, 2012 meeting.

Phillip Culpepper said he has had some informal talks about a portion of their property (on the southern end) that is out of the town's ETJ and it goes into an area of the county that is unzoned. He has been doing research on the town being able to have an ETJ larger than what we have. When they look at rezoning the property it would be better to have it as a one piece rezoning and not to have two jurisdictions involved. It was discussed between Manager Horne and the Attorney and he just wanted to make the board aware.

Mayor Updates

- EDC
- RPO
- Solid Waste
- Fairground Association
- PMA/Downtown

Commissioner Concerns

Commissioner Farrell wanted to know if we were going to get reimbursed for the water leak last week for all the water that was lost. Manager Terry stated Mandy was working on an invoice to send to the County (the contractors insurance should pay for this).

Commissioner Farrell said when we have broken water lines the fire department needs to be made aware of it.

Commissioner Foley said she met with Pat Richardson last week and they are in the process of selecting a committee. They want to have six to eight people on the committee.

Commissioner Fiocco stated he would like updates on the following items next meeting. Status of the audio improvement for this room, update on the Alpha Install project and he thanked Manager Terry for the email on Jordan Rules and asked when he finds out the Governors' decision to email that also. He has been working on the Judicial Center Motion made by Commissioner Fiocco seconded by Commissioner Farrell to adjourn at 10:24 p.m.

Vote Aye-5 Nay-0

FYI -

1. Tentative Future Agendas July 23, 2012
2. Town Financial Expenditure Statements for the Month Ending June, 2012.
3. Water and Sewer Revenues – Budget vs. Actual for FY 2011/2012.
4. Fiscal Year 2011-2012 Year-end Interdepartmental Appropriation Transfers
5. NCDENR e-mail of July 13, 2012; RE: Pending Legislation Regarding Jordan New Development

Randolph Voller, Mayor

ATTEST:

Alice F. Lloyd, CMC, Town Clerk