



1-21-15

SMITH Architecture, PA



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BAR

CONSTRUCTION COMPANY INC
611-A INDUSTRIAL AVE GREENSBORO, NC

Pittsboro Pet Supply
Pittsboro, North Carolina

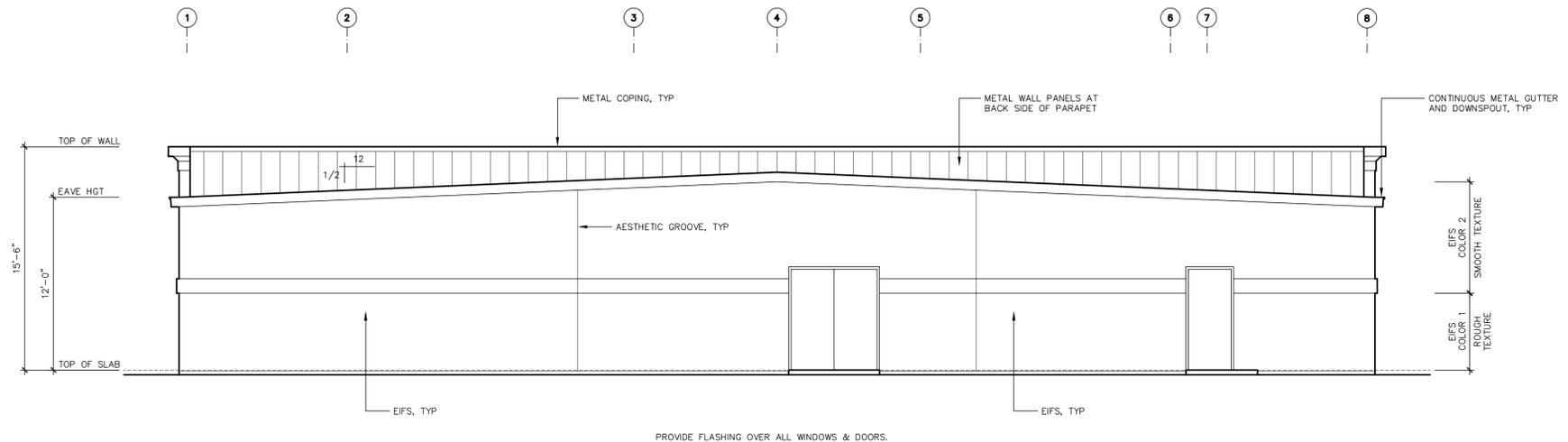
Lot 10 Commerce Court

A-2.0

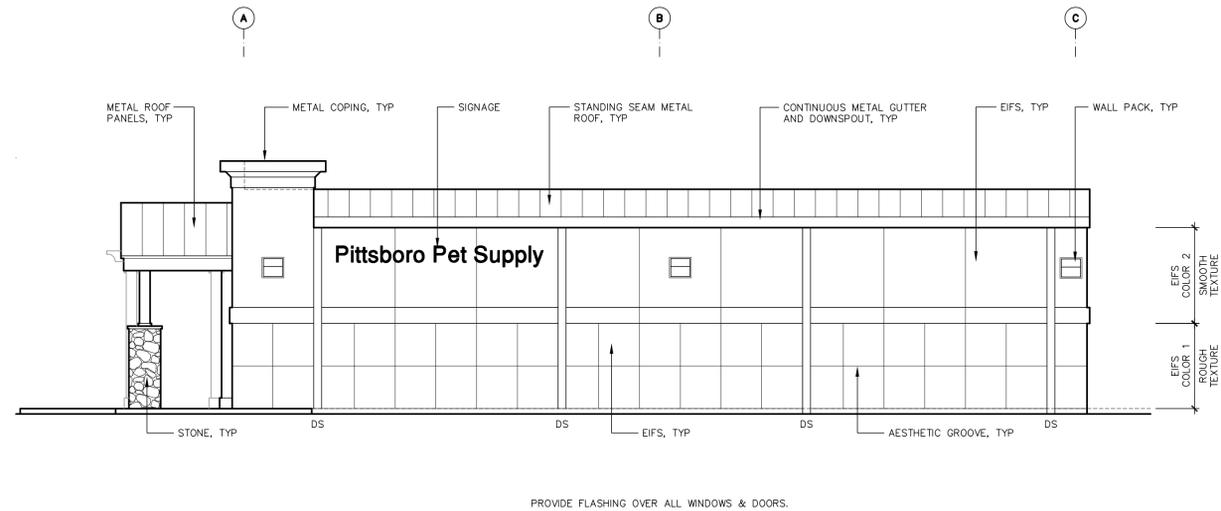
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14.010

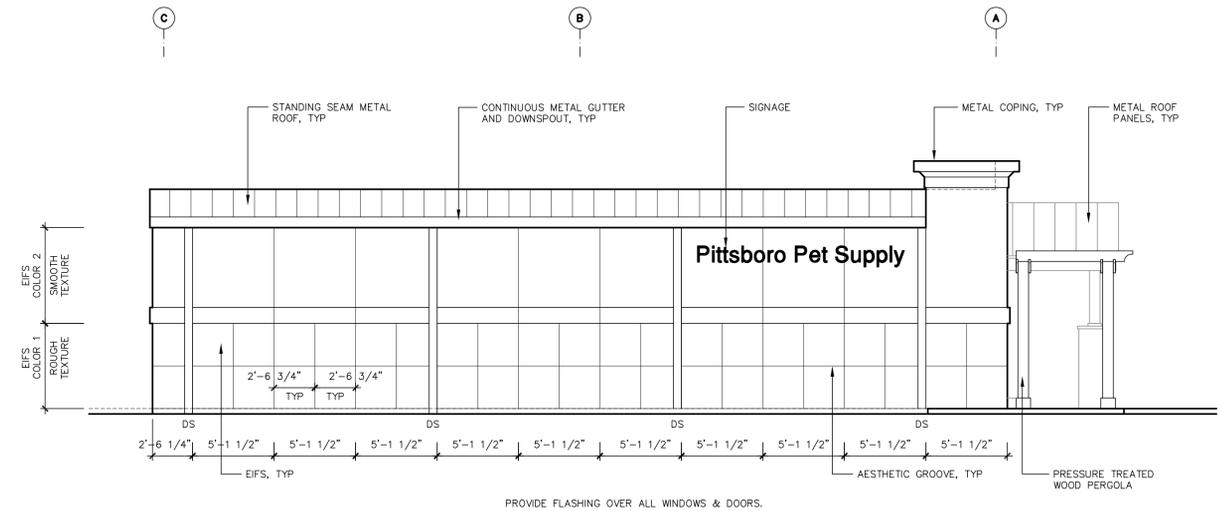
January 21, 2015



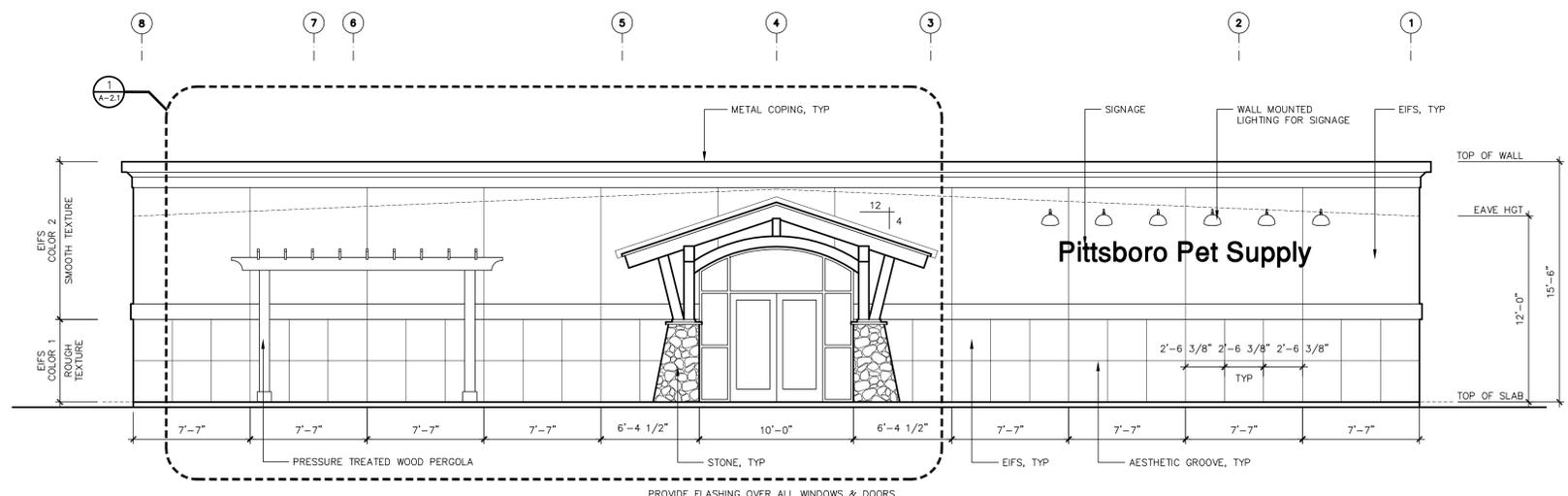
North Elevation
3/16" = 1'-0"



East Elevation
3/16" = 1'-0"



West Elevation
3/16" = 1'-0"



South Elevation
3/16" = 1'-0"

SURVEY LEGEND

- STORM WATER LINE
- SS SANITARY SEWER LINE
- OHW OVERHEAD WIRES
- IPF IRON PIPE FOUND
- R/W RIGHT OF WAY
- N/F NOW OR FORMERLY
- RCP CONC. STORM PIPE
- DIP DUCTILE IRON PIPE
- Typ. TYPICAL
- T/C TOP OF CURB
- TVC TOP OF VALLEY CURB
- INV INVERT ELEVATION
- TEMP. BENCH MARK
- WATER METER
- FIRE HYDRANT
- WATER VALVE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- CAST IRON CATCH BASIN
- TELEPHONE PEDESTAL
- ELEC. CABINET
- SIGN

SURVEY NOTES:

THIS SURVEYOR DID NOT PERFORM A BOUNDARY SURVEY IN CONJUNCTION WITH THE PRESENT MAPPING. ALL BOUNDARY INFORMATION IS SHOWN PER PB 2005 PG 150, ORIENTED TO PROPERTY MONUMENTATION RECOVERED, AS SHOWN HEREON.

THERE MAY BE EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS AFFECTING THIS PROPERTY WHICH ARE NOT SHOWN HEREON.

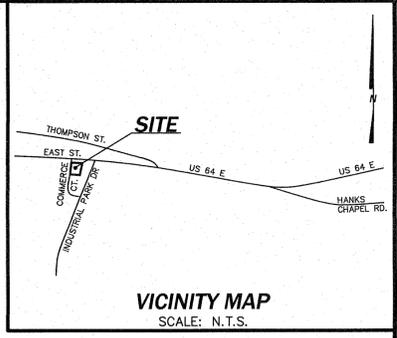
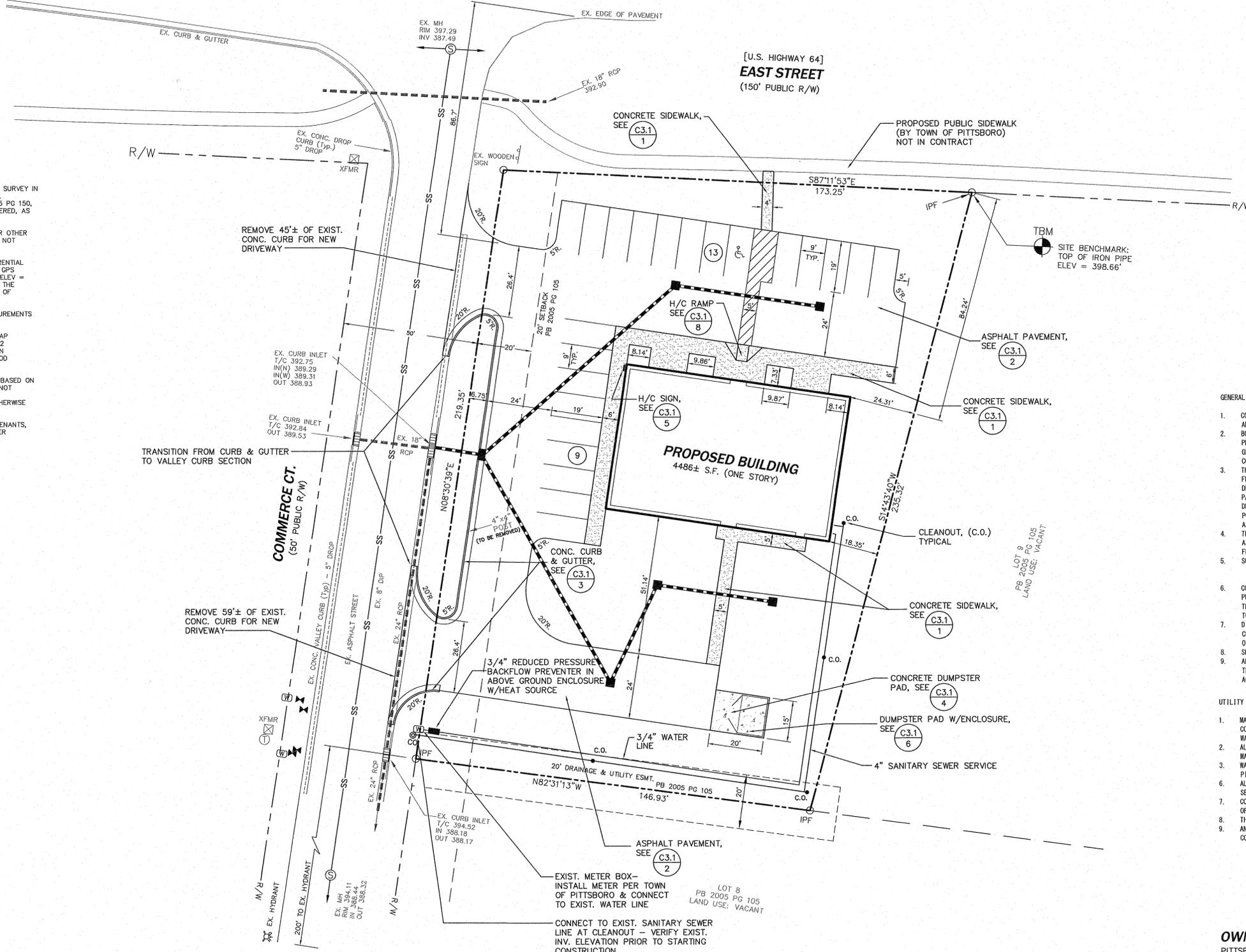
SITE BENCHMARKS WERE ESTABLISHED BY DIFFERENTIAL STATIC GPS METHODS USING THREE PROMARK II GPS RECEIVERS HOLDING NCG MONUMENT "GUNTER" (ELEV = 418.86 FEET) AS A FIXED VERTICAL REFERENCE. THE VERTICAL DATUM IS NAVD 88 WITH A PRECISION OF 0.006" AT THE 95% CONFIDENCE LEVEL.

ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS NOTED OTHERWISE.

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #3710975100-J, EFFECTIVE 02 FEBRUARY, 2007, THIS SITE DOES NOT LIE WITHIN THE 100-YEAR OR OTHER SPECIAL HAZARD FLOOD ZONE.

ANY UNDERGROUND IMPROVEMENTS ARE SHOWN BASED ON SURFACE EVIDENCE ONLY. THIS SURVEYOR CANNOT CERTIFY TO NOR ACCEPT LIABILITY FOR THE PRESENCE AND/OR LOCATION OF BURIED OR OTHERWISE NON-VISIBLE IMPROVEMENTS.

THIS LOT MAY BE SUBJECT TO CONDITIONS, COVENANTS, AND RESTRICTIONS PER DB 1174 PG 181 AND PER PB 2005 PG 105.



SITE DATA:

TOTAL ACREAGE:	0.828± ACRES
PIN#:	9751-26-9608
TAX PARCEL:	82340
ZONING:	C-2
P.B./PG:	2005-105
D.B./PG:	1174-181

PARKING DATA:

PARKING REQUIREMENTS:	1/200 S.F.
4486 S.F./200 = 22 SPACES REQ'D.	
TOTAL SPACES REQUIRED:	22 SPACES
TOTAL SPACES PROVIDED:	22 SPACES

- GENERAL NOTES:**
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY EXCAVATION.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A MAP PREPARED BY SACKS SURVEYING & MAPPING, PC, 3308-B EDGEFIELD ROAD, GREENSBORO, NC, 27409 (336) 931-0566. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK.
 - THIS SITE IS LOCATED IN THE JORDAN LAKE WATERSHED. STORMWATER FROM THE DEVELOPED PROPERTY SHALL DISCHARGE TO THE EXISTING DETENTION POND LOCATED AT THE SOUTHWEST CORNER OF THE BUSINESS PARK. THIS PROPERTY HAS VESTED RIGHTS TO UTILIZE THE EXISTING DETENTION POND FOR WATER QUALITY. MAINTENANCE OF THE EXISTING POND IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNER'S ASSOCIATION.
 - THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP No. 3710975100J DATED FEBRUARY 2, 2007. SOIL TYPES PER CHATHAM COUNTY GIS:
 - Soil: Cnb & Gsr2
AVERAGE SITE SLOPE: 1-3 PERCENT
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL DURING WORK IN PUBLIC STREETS IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE TOWN OF PITTSBORO.
 - DIMENSIONS ARE TO PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT, CENTERLINE OF STRIPE, OR FACE OF BUILDING/STRUCTURE UNLESS OTHERWISE NOTED.
 - SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 - ALL VEHICULAR SIGNAGE SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). SIGNS SHALL BE MOUNTED IN ACCORDANCE WITH NCDOT STANDARD DETAIL 904.50

- UTILITY NOTES:**
- MATERIALS AND CONSTRUCTION OF SANITARY SEWER AND WATER SHALL CONFORM TO THE TOWN OF PITTSBORO AND NORTH CAROLINA DIVISION OF WATER QUALITY STANDARDS, LOCAL AND STATE PLUMBING CODES.
 - ALL ON-SITE PRIVATE WATER AND SANITARY SEWER LINES SHALL BE MAINTAINED BY THE PROPERTY OWNER.
 - WATER METER AND BACKFLOW PREVENTER SHALL CONFORM TO TOWN OF PITTSBORO STANDARDS.
 - ALL STANDARD MCDNR AND TOWN OF PITTSBORO REQUIRED UTILITY SEPARATIONS SHALL BE PROVIDED.
 - COORDINATE WITH PLUMBING DRAWINGS FOR SIZE, DEPTH AND LOCATION OF WATER AND SANITARY SEWER UTILITIES INTO BUILDING.
 - THIS FACILITY WILL NOT BE SPRINKLERED.
 - ANY DAMAGE TO EXISTING UTILITIES TO REMAIN CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.

OWNER:
PITTSBORO FEED
1103 EAST STREET
PITTSBORO, NC. 27312
(919) 542-2454

CONTRACTOR:
BAR CONSTRUCTION CO. INC.
611-A INDUSTRIAL AVE.
GREENSBORO, NC. 27406
(336) 274-2477

<p>CivilDesigns, P.A. Consulting Civil and Environmental Engineering 3817-C Lawndale Drive, Greensboro, North Carolina 27455 Phone: (336) 282-5542 Fax: (336) 282-5592 N.C. License No. C-1043</p>	<p>DATE: 6/16/14 PROJECT #: 14230</p>
<p>811 Know what's below. Call before you dig.</p>	
<p>GRAPHIC SCALE (IN FEET) 1 INCH = 20 FT</p>	
<p>CL.I</p>	

SURVEY LEGEND

- STORM WATER LINE
- SS — SANITARY SEWER LINE
- OHW — OVERHEAD WIRES
- IPF = IRON PIPE FOUND
- R/W = RIGHT OF WAY
- N/F = NOW OR FORMERLY
- RCP = CONC. STORM PIPE
- DIP = DUCTILE IRON PIPE
- Typ. = TYPICAL
- T/C = TOP OF CURB
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- ⊕ TEMP. BENCH MARK
- ⊕ WATER METER
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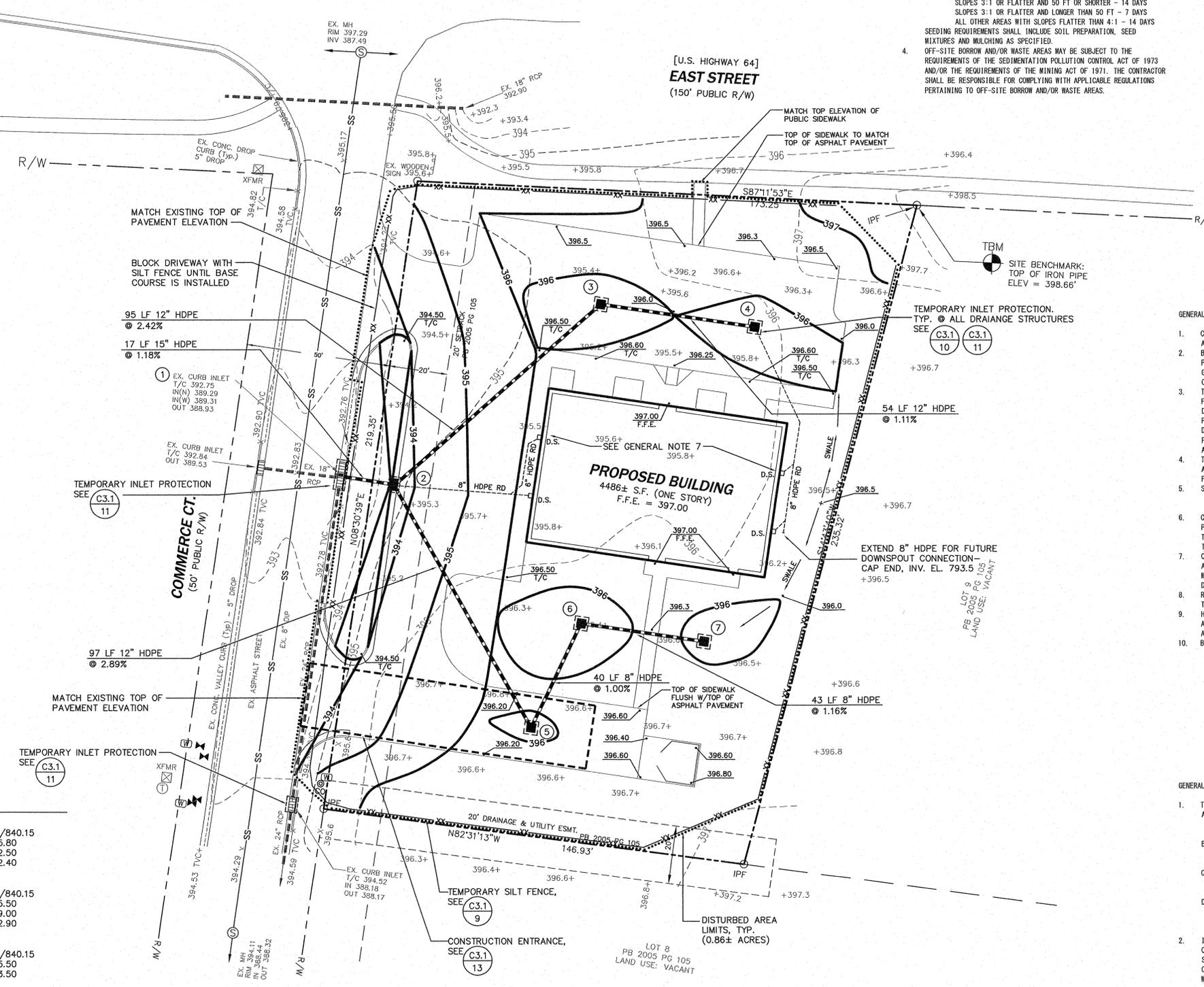
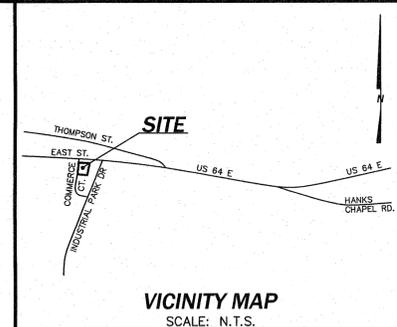
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EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS INCLUDED IN THESE PLANS AND THE NORTH CAROLINA EROSION AND SEDIMENTATION CONTROL PLANNING AND DESIGN MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES, REPLACING ANY DEVICE WHICH FAILS TO PERFORM AS INTENDED AND FOR ADDING ANY DEVICES REQUIRED BY REGULATORY AGENCIES DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL PROVIDE GROUND STABILIZATION (I. e. SEEDING AND MULCHING) ON ALL DISTURBED AREAS WITHIN THE FOLLOWING TIME FRAMES:
 - PERIMETER DIKES, SWALES, DITCHES AND SLOPES - 14 DAYS
 - SLOPES STEEPER THAN 3:1 - 7 DAYS
 - SLOPES 3:1 OR FLATTER AND 50 FT OR SHORTER - 14 DAYS
 - SLOPES 3:1 OR FLATTER AND LONGER THAN 50 FT - 7 DAYS
 - ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 - 14 DAYS
 SEEDING REQUIREMENTS SHALL INCLUDE SOIL PREPARATION, SEED MIXTURES AND MULCHING AS SPECIFIED.
- OFF-SITE BORROW AND/OR WASTE AREAS MAY BE SUBJECT TO THE REQUIREMENTS OF THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 AND/OR THE REQUIREMENTS OF THE MINING ACT OF 1971. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE REGULATIONS PERTAINING TO OFF-SITE BORROW AND/OR WASTE AREAS.



STORM DRAINAGE DATA:

- | | |
|--|--|
| <p>① EXISTING CURB INLET
T/C 392.75
INV. IN(N) 389.29
INV. IN(W) 389.31
INV. OUT 388.93
NEW INV. IN(E) 389.3</p> | <p>⑤ DROP INLET
NCDOT STD# 840.14/840.15
TOP 395.80
INV. IN 392.50
INV. OUT 392.40</p> |
| <p>② CURB INLET
NCDOT STD# 840.01/840.02
T/C 394.00
INV. IN(NE) 389.60
INV. IN(SE) 389.60
INV. OUT 389.50</p> | <p>⑥ DROP INLET
NCDOT STD# 840.14/840.15
TOP 395.50
INV. IN 939.00
INV. OUT 392.90</p> |
| <p>③ DROP INLET
NCDOT STD# 840.14/840.15
TOP 395.60
INV. IN 392.00
INV. OUT 391.90</p> | <p>⑦ DROP INLET
NCDOT STD# 840.14/840.15
TOP 395.50
INV. OUT 393.50</p> |
| <p>④ DROP INLET
NCDOT STD# 840.14/840.15
TOP 395.60
INV. OUT 392.60</p> | |

LEGEND

— EXISTING	— PROPOSED
— CONTOURS	— 98.00
— SPOT ELEVATIONS	— XX
— SILT FENCE	—
— DISTURBED AREA	—

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- SOIL TYPES PER CHATHAM COUNTY GIS:
 - Om & Gm2
 - AVERAGE SITE SLOPE: 1-3 PERCENT
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL DURING WORK IN PUBLIC STREETS IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE REQUIREMENTS OF THE TOWN OF PITTSBORO.
- CONNECT ALL BUILDING DOWNSPOUTS TO 6 INCH HDPE PIPES USING BOOTS AND COMPATIBLE FITTINGS. 6 INCH PIPE TO BE INSTALLED AT 1 PERCENT MINIMUM. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF DOWNSPOUTS.
- REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C76, TYPE III, TONGUE AND GROOVE JOINTS.
- HDPE PIPE SHALL BE SMOOTH INTERIOR WALL AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, HANGOR, LANE ENTERPRISES, OR APPROVED EQUAL.
- BACKFILL AND COMPACTION REQUIREMENTS:
 - ALL FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER AND DEBRIS, HAVE A PLASTICITY INDEX LESS THAN 30 AND A MAXIMUM DRY DENSITY OF AT LEAST 90 PCF IN ACCORDANCE WITH ASTM D698.
 - FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" LOOSE THICKNESS AND BE COMPACTED TO THE FOLLOWING MINIMUMS:
 - UNDER BUILDING AND PAVEMENT: 95 PERCENT WITH TOP 8" AT 100 PERCENT UNDER BUILDINGS
 - UNDER SIDEWALKS AND UTILITY PADS: 95 PERCENT
 - YARD AREAS: 90 PERCENT
 - (COMPACTION IS PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698).

GENERAL ACCESSIBILITY NOTES:

- THE CONTRACTOR SHALL PROVIDE THE FOLLOWING:
 - A. GRADES IN PROPOSED HANDICAP PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2 PERCENT IN ANY DIRECTION, INCLUDING THE DIAGONAL.
 - B. THERE SHALL BE NO DESIGNATED PEDESTRIAN ROUTES/SIDEWALKS WITHIN THE SITE WHICH EXCEED A 5 PERCENT SLOPE IN THE DIRECTION OF TRAVEL AND A 2 PERCENT CROSS SLOPE.
 - C. PROVIDE LEVEL TURNING AREAS, MAXIMUM 2 PERCENT SLOPE IN ALL DIRECTIONS INCLUDING THE DIAGONAL, ON ALL PROPOSED SIDEWALKS WHERE A PROPOSED INTERESTING SIDEWALK CONNECTS.
 - D. PROPOSED LANDINGS OUTSIDE OF ALL PROPOSED DOORS SHALL BE SIZED PER THE NORTH CAROLINA BUILDING CODE, SHALL MATCH THE BUILDING FINISHED FLOOR ELEVATION, AND SHALL NOT EXCEED 2 PERCENT IN ANY DIRECTION INCLUDING THE DIAGONAL.
- IF ANY GRADES, NOTES, OR INSTRUCTIONS SHOWN ON THESE PLANS CONFLICT WITH NOTES ABOVE, THEN THE MORE STRINGENT OF THE TWO SHALL APPLY. IF THE CONTRACTOR HAS ANY QUESTIONS, HE SHALL CONTACT THE ENGINEER OF RECORD PRIOR TO STARTING THAT PHASE OF WORK.

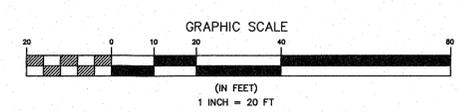
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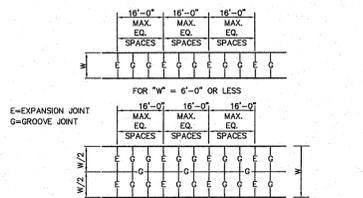
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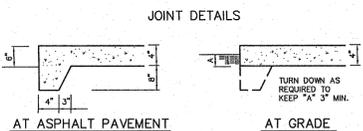
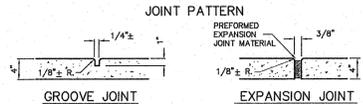
GRADING, DRAINAGE, & EROSION CONTROL PLAN
 A PROPOSED BUILDING FOR
PITTSBORO FEED
 COMMERCIAL CT.
 CENTER TOWNSHIP, CHATHAM COUNTY, PITTSBORO, NC.
 Designer: K. BRODERICK
 Drawn By: D. RUSSELL
 Date: 6/16/14
 Project #: 14230

SHEET NO. **C2.1**

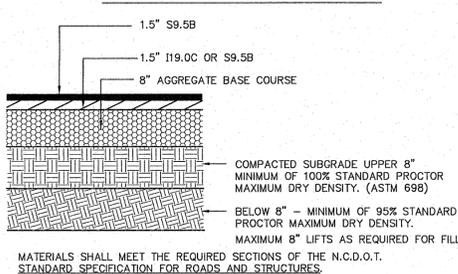
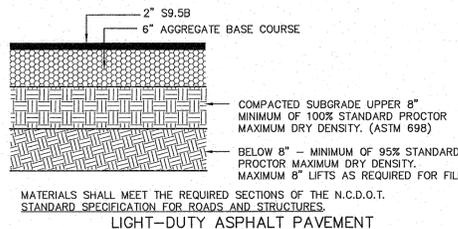




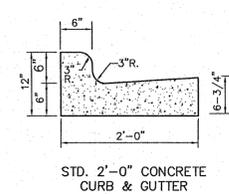
NOTES: EXCEPT WHERE SHOWN IN THE PLAN, ALL NEW CONCRETE WALKS SHALL HAVE JOINTS SPACED AS SHOWN IN THESE DETAILS. AN EXPANSION JOINT SHALL BE USED TO SEPARATE THE NEW CONCRETE WALK FROM OTHER NEW OR EXISTING CONCRETE CONSTRUCTION.



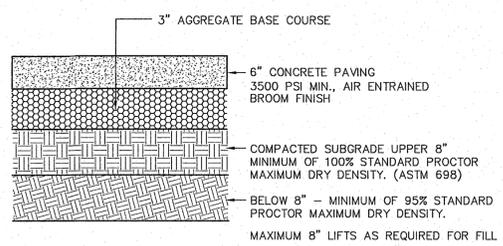
DETAIL
NOT TO SCALE
C3.1
1



DETAIL
NOT TO SCALE
C3.1
2



DETAIL
NOT TO SCALE
C3.1
3



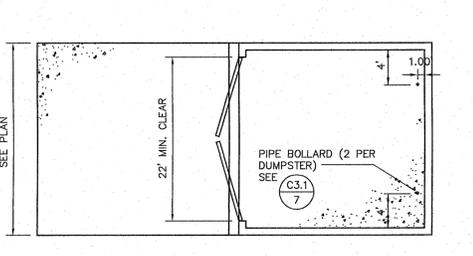
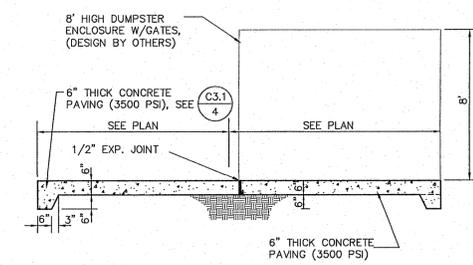
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C3.1
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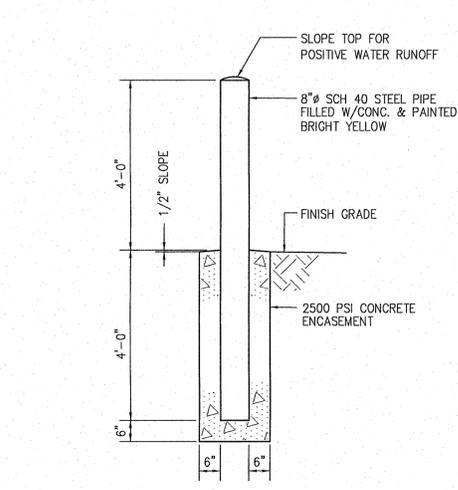
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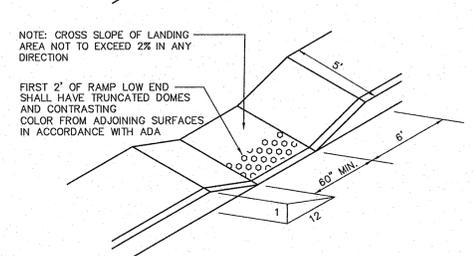
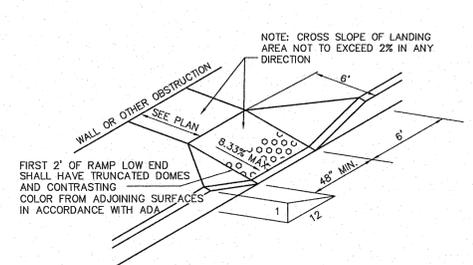
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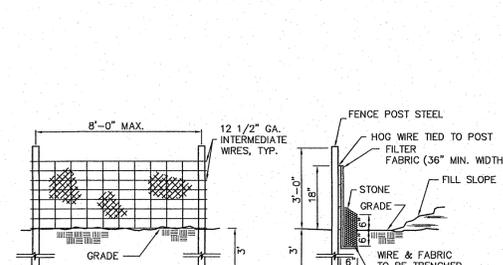
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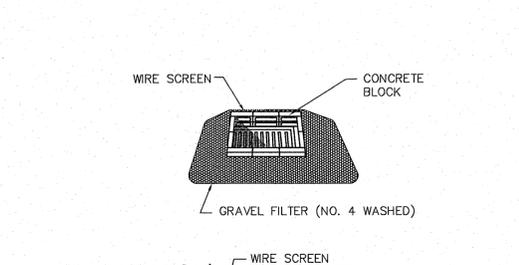
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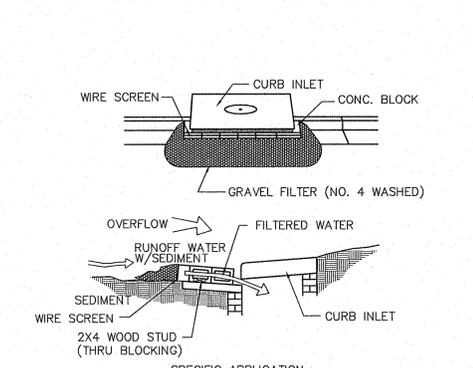
DETAIL
NOT TO SCALE
C3.1
8



DETAIL
NOT TO SCALE
C3.1
9



DETAIL
NOT TO SCALE
C3.1
10



SPECIFIC APPLICATION
THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLET WHERE AN OVERFLOW CAPABILITY IS NECESSARY TO PREVENT EXCESSIVE PONDING IN FRONT OF THE STRUCTURE.

DETAIL
NOT TO SCALE
C3.1
11

SEEDING SPECIFICATIONS

PREPARE SEEDBED BY RIPPING, CHISELING, HARROWING OR PLOWING TO A DEPTH OF SIX INCHES SO AS TO PRODUCE A LOOSE, FRAGILE SURFACE. REMOVE ALL STONES, Boulders, STUMPS OR DEBRIS FROM THE SURFACE WHICH WOULD PROHIBIT GERMINATION OR PLANT GROWTH.

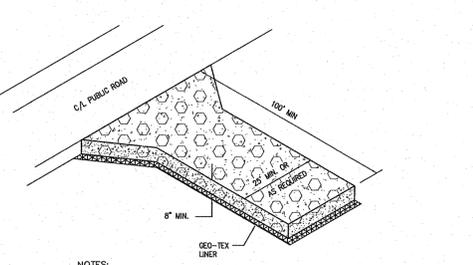
INCORPORATE INTO THE SOIL 800 TO 1,000 POUNDS OF 10-10-10 FERTILIZER PLUS 500 POUNDS OF 20 PERCENT SUPERPHOSPHATE PER ACRE AND TWO TONS OF DOLOMITIC LIME PER ACRE UNLESS SOIL TESTS INDICATE THAT A LOWER RATE OF LIME CAN BE USED.

MULCH AFTER SEEDING WITH 1.5 TONS OF GRAIN STRAW PER ACRE AND EITHER CRIMP STRAW INTO SOIL OR TACK WITH LIQUID ASPHALT AT 400 GALLONS PER ACRE OR EMULSIFIED ASPHALT AT 300 GALLONS PER ACRE.

PLANTS AND MIXTURE	PLANTING RATE/ACRE	PLANTING DATES
BLEND OF TWO TURF-TYPE TALL FESCUES (90%) AND TWO OR MORE IMPROVED KENTUCKY BLUEGRASS VARIETIES (10%)	200-250 LBS.	AUG. 15-OCT. 15 FEB. 15-MAY 1
PERMANENT SEEDING		
TALL FESCUE AND KOBE OR KOREAN LESPEDEZA (4)	100 LBS. AND 20-25 LBS.	FEB. 15-MAY 1 AUG. 15-OCT. 15
TALL FESCUE AND SERICEA LESPEDEZA	50 LBS. AND 60 LBS.	NOV. 1-FEB. 1 (UNSCARIFIED)
TALL FESCUE AND GERMAN WHEAT OR SEAMASS (5)	60 LBS. AND 30 LBS.	JULY AND AUGUST
TALL FESCUE AND RYEGRASS (6)	70 LBS. AND 25 LBS.	NOV. 1-JAN. 30
COMMON BERMOUDAGRASS	8 LBS. (HULLED) 15-20 LBS. (UNHULLED)	APRIL 15-JUNE 30 FEB. 1-MARCH 30

(4) FOR SPRING SEEDINGS, USE SCARIFIED LESPEDEZA SEED. FOR LATE FALL AND WINTER SEEDINGS, USE UNSCARIFIED SEED.
(5) ANNUALS SUCH AS MILET, SEAMASS AND RYEGRASS MUST BE KEPT AT 10"-12" MAXIMUM HEIGHT.

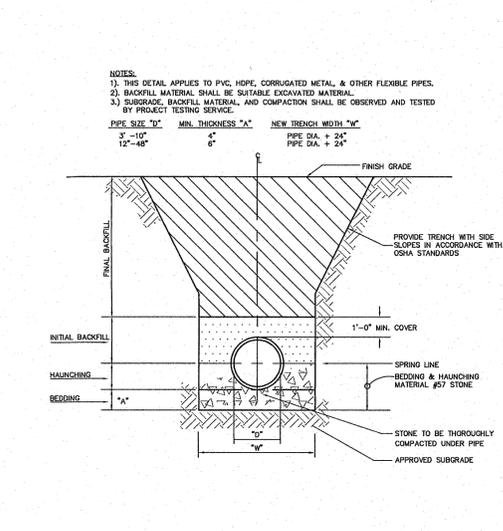
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NOTES:

- STONE SIZE - USE 2" TO 3" COURSE AGGREGATE. USE CRUSHED STONE.
- LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.
- THICKNESS - NOT LESS THAN EIGHT(8) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OR 25'.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SANDBAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.

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DEATILS

A PROPOSED BUILDING FOR
PITTSBORO FEED
COMMERCE CT.
CENTER TOWNSHIP, CHATHAM COUNTY, PITTSBORO, NC.

Designed By: K. BRODERICK
Drawn By: D. RUSSELL

Date: 6/16/14
Project #: 14230

Sheet No.
C3.1